



**MEETING OF
UNIVERSITY PARK MAYOR AND COMMON COUNCIL
WILL BE HELD AT
UNIVERSITY PARK TOWN HALL
6724 BALTIMORE AVENUE
7:30 p.m.
March 16, 2020
REGULAR SESSION**

In light of the Coronavirus and the closing of public schools, Council will meet at Town Hall. We ask all residents and guests to participate via conference call at (857) 799-9966. Residents will have the opportunity to speak during Public Comment - agenda item #6. During that time if you would like to make a comment, please state your name and Mayor Carey will call on you to speak. All public comment will be limited to three minutes.

A closed session has been called – see agenda item 10.

1. CALL TO ORDER: *Mayor Carey*

Present:	Brosch	Absent:	Brosch
	Schultz		Schultz
	Morrissey		Morrissey
	Verrill		Verrill
	Caskey		Caskey
	Wells		Wells
	Stephen		Stephen

2. PLEDGE OF ALLEGIANCE

3. APPROVAL OF THE AGENDA

Moved by:	Seconded by:	
Yea:	Nay:	Abstain:

4. CONSENT AGENDA

Motion: To approve the following consent agenda item (see next page).

Moved by:	Seconded by:	
Yea:	Nay:	Abstain:

- A. BUILDING PERMIT APPLICATION TO REMOVE EXISTING PATIO AND CONSTRUCT NEW PATIO
(John Rzasa, 6703 Queens Chapel Road) Ward 3**
To remove existing patio and construct a new 20'x 14' patio, located on Lot 14 & part of 13, Block 16 and Section 3 at 6703 Queens Chapel Road.

5. PERMITS

- A. BUILDING PERMIT FOR A SECOND STORY ADDITION AND A DECK WITH STEPS
(Matthew and Lisa Beckman, 4305 Sheridan Street) Ward 1**

Motion: To consider a building permit for a 5'x 16.4' second story addition and a 16.08'x 12.96' deck with steps located on Lot 15 and part of 14, Block 4, and Section 1 at 4305 Sheridan Street.

Moved by:

Seconded by:

Yea:

Nay:

Abstain:

- B. LITTLE FREE LIBRARY AT WELLS PARKWAY AND CHANSORY LANE**

To accept the proposal of the University Park Civic Association and permit the installation of a fourth Little Free Library on public land and:

- That the Council approve the site requested by the UPCA and recommended by the Director of Public Works at the intersection of Wells Parkway and Chansory Lane, such site to be specifically located by the Town, and;
- That the Council request that the University Park Civic Association pay for the creation of such a Little Free Library, and coordinate its stocking with appropriate books and continuing operation, and;
- That the Council request that the Town maintain the Little Free Library structure itself where the need for such maintenance is indicated by the University Park Civic Association, and;
- That this arrangement may be ended or altered at the convenience of the Town at any time, and;
- That the existing agreement between the Town and the University Park Civic Association be amended to include the fourth location appended with signatures.

Moved by:

Seconded by:

Yea:

Nay:

Abstain:

6. PUBLIC COMMENT

7. NEW BUSINESS

A. EMERGENCY FY2020 BUDGET TRANSFER TO PURCHASE COMPUTERS

Motion: To override Council policy and amend fiscal year 2020 budget to transfer \$4,000 from General Government line item 6103-01, *Administrative Expenses* to General Government line item 6110-01, *Small Equipment* for the purchase of 4 new laptops to allow all department heads the capability to work from home in the case of an emergency.

Moved by:

Seconded by:

Yea:

Nay:

Abstain:

B. CONTINUITY OF TOWN OPERATIONS

Discussion of continuity of Town operations and governance, including Council meetings, due to the Coronavirus disease (COVID-19).

8. APPROVAL OF MINUTES: *March 2, 2020*

Moved by:

Seconded by:

Yea:

Nay:

Abstain:

9. DEPARTMENT AND COUNCIL REPORTS

A. MAYOR'S REPORT

B. COUNCIL AND COMMITTEE REPORTS

C. REPORT FROM THE TOWN ATTORNEY ~ *Suellen Ferguson*

D. REPORT FROM THE TOWN CLERK ~ *Andrea Marcavitch*

10. CLOSED SESSION

A. CLOSE OPEN SESSION AND ENTER INTO CLOSED SESSION

Motion: To adjourn the public meeting and enter Closed Session to consult with Counsel to discuss (I) the appointment, employment, assignment, promotion, discipline, demotion, compensation, removal, resignation or performance evaluations of appointees, employees, or officials over whom it has jurisdiction; or (II) any other personnel matter that effects one or more specific individuals. The Council will not be returning to Open Session.

Moved by:

Seconded by:

Yea:

Nay:

Abstain:

11. ADJOURNMENT

Agenda Item 4A
Rzasa Building Permit Application



Building Permit Application

◆ The Town of University Park ◆

An incorporated municipality in Prince George's County, Maryland
Town Hall, 6724 Baltimore Avenue, University Park, Maryland 20782
Phone: (301) 927-4262 Fax: (301) 277-4548 Email: townhall@upmd.org

For Office Use Only
 Ward # 3 Date Received: 3/10/20
 Permit Application: Approved Rejected
 #470
 (Check) Cash Amt.: 10.00
 Permit Number: _____
 Date Issued: _____

Name of Applicant(s): John Reasa

Telephone Number: [REDACTED] Home [REDACTED] Cell _____

Work: [REDACTED] Email: [REDACTED]

Street Address of Property: 6703 Queens Chapel Road

Lot Number: 14 Block Number: 16 Section Number: 3

Person/Company Doing the Work: Jopal Construction, Inc.

Address/Phone: 5621 Griffith Farm Road, Rockville MD, 20855 301-674-3888

Signature of Property Owner: [Signature] Date: 3/6/20

Description of Work

Check all that apply:

Fence: Height: _____, Material: _____, Style: _____

Outbuilding: Dimensions: _____, Height at Apex: _____
Materials: _____

Other: (Please Specify):
Dimensions: 20' x 14', Height at Apex: 0'
Materials: Concrete, brick

Please Specify Reason for Structure: replace back patio with smaller one

POD or Dumpster (check one) Unit will be placed on the property: _____ or on the street: _____

Dates the unit will be delivered: _____ picked up: _____

Permit and Non-Refundable Filing Fee Paid (**\$10 + 10% of County permit fee (if applicable)**)= \$ 10

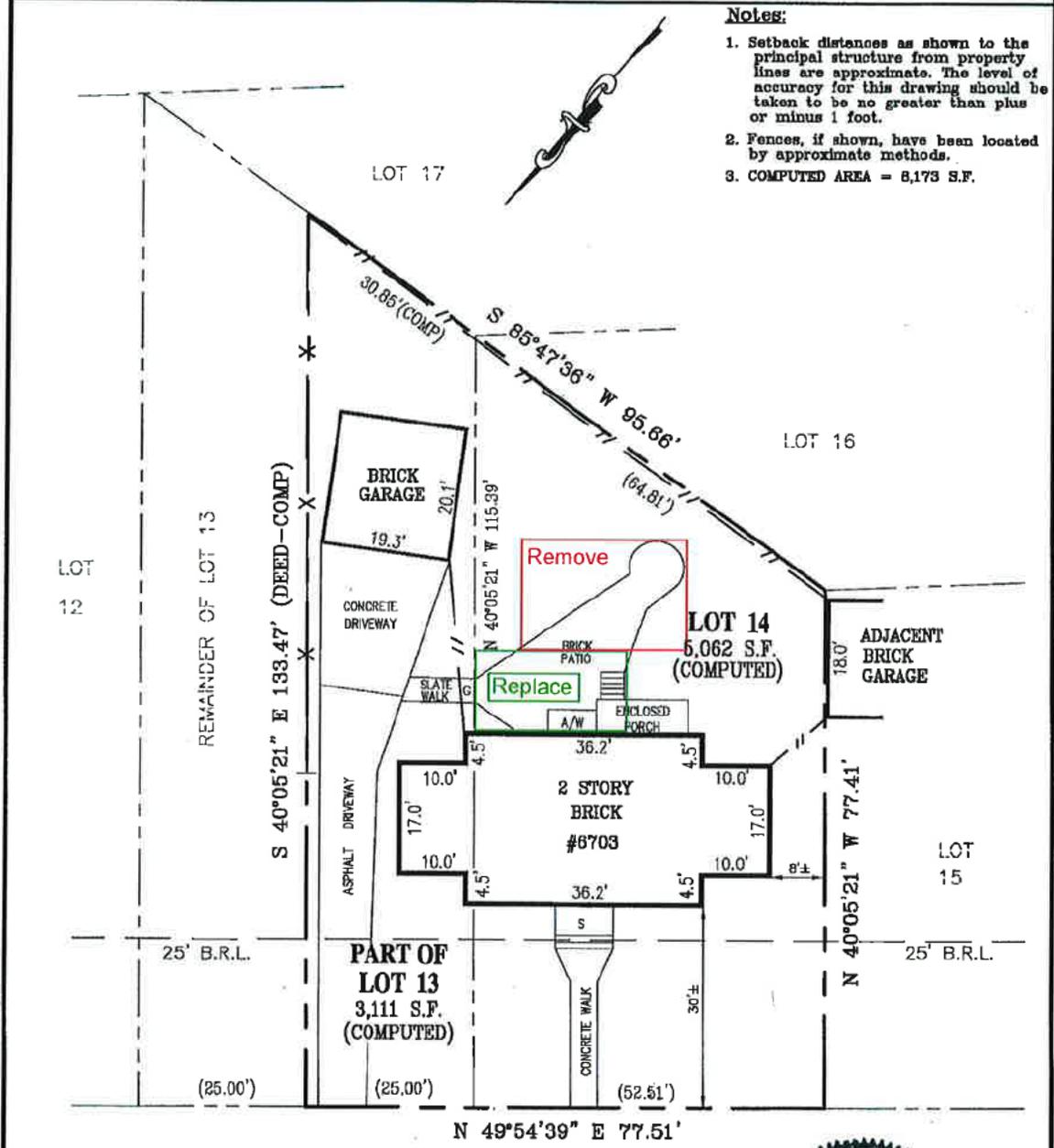
Caution: To begin construction before a permit has been issued and prominently displayed for inspection at the construction site is a clear violation of municipal law.

CONSUMER INFORMATION NOTES:

1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.
5. No Title Report furnished.

Notes:

1. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 1 foot.
2. Fences, if shown, have been located by approximate methods.
3. COMPUTED AREA = 8,173 S.F.



QUEENS CHAPEL ROAD
 (UNIVERSITY DRIVE PER PLAT)
 (72' R/W PER PLAT)

LOCATION DRAWING
 LOT 14 & PART OF LOT 13
 SECTION THREE
UNIVERSITY PARK
 PRINCE GEORGE'S COUNTY, MARYLAND



SURVEYOR'S CERTIFICATE		REFERENCES			SNIDER & ASSOCIATES LAND SURVEYORS 20270 Goldenrod Lane, Suite 110 Germantown, Maryland 20878 301/948-5100 Fax 301/948-1286		
THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION. <i>[Signature]</i>		PLAT BK.	3		DATE OF LOCATIONS	SCALE:	1" = 20'
MARYLAND PROPERTY LINE SURVEYOR REG. NO. 692 Expires 04-07-2019		PLAT NO.	16	WALL CHECK:	DRAWN BY:	K.D.S.	
		LIBER	12537	HSE. LOC.:	01-15-18	JOB NO.:	18-00087
		FOLIO	150				

Agenda Item 5
Beckman Building Permit Application



Building Permit Application

◆ The Town of University Park ◆

An incorporated municipality in Prince George's County, Maryland
Town Hall, 6724 Baltimore Avenue, University Park, Maryland 20782
Phone: (301) 927-4262 Fax: (301) 277-4548 Email: townhall@upmd.org

For Office Use Only
 Ward # 1 Date Received: 3/9/20
 Permit Application: Approved Rejected
 Check/Cash Amt.: \$170.63
 Permit Number: _____
 Date Issued: _____

Name of Applicant(s): Matthew Beckmann

Telephone Number: [REDACTED] Home [REDACTED] Cell [REDACTED]

Work: [REDACTED] Email: [REDACTED]

Street Address of Property: 4305 Sheridan Street

Lot Number: 15 Block Number: 4 Section Number: ONE
(and part of 14)

Person/Company Doing the Work: Springbrook Home Improvements

Address/Phone: 8670 Reservoir Rd, Fulton, MD 20759 / ph. 301-604-6909

Signature of Property Owner: M C Beck Date: 3/6/20

Description of Work

Check all that apply:

Fence: Height: _____, Material: _____, Style: _____

Outbuilding: Dimensions: _____, Height at Apex: _____
Materials: _____

Other: (Please Specify): Kitchen expansion on 1st level & bathroom addition on 2^d story w/ a deck
Dimensions: 150 square feet (SF), Height at Apex: 23' 3"
Materials: wood frame with composite siding

Please Specify Reason for Structure: Renovating 1,114 SF of existing space and adding 150 SF. Adding master bath on 2^d floor; extending/renovating kitchen & bath on 1st floor; and finishing portion of basement. Also building new 12' x 15' deck.

POD or Dumpster (check one) Unit will be placed on the property: _____ or on the street: _____
Dates the unit will be delivered: _____ picked up: _____

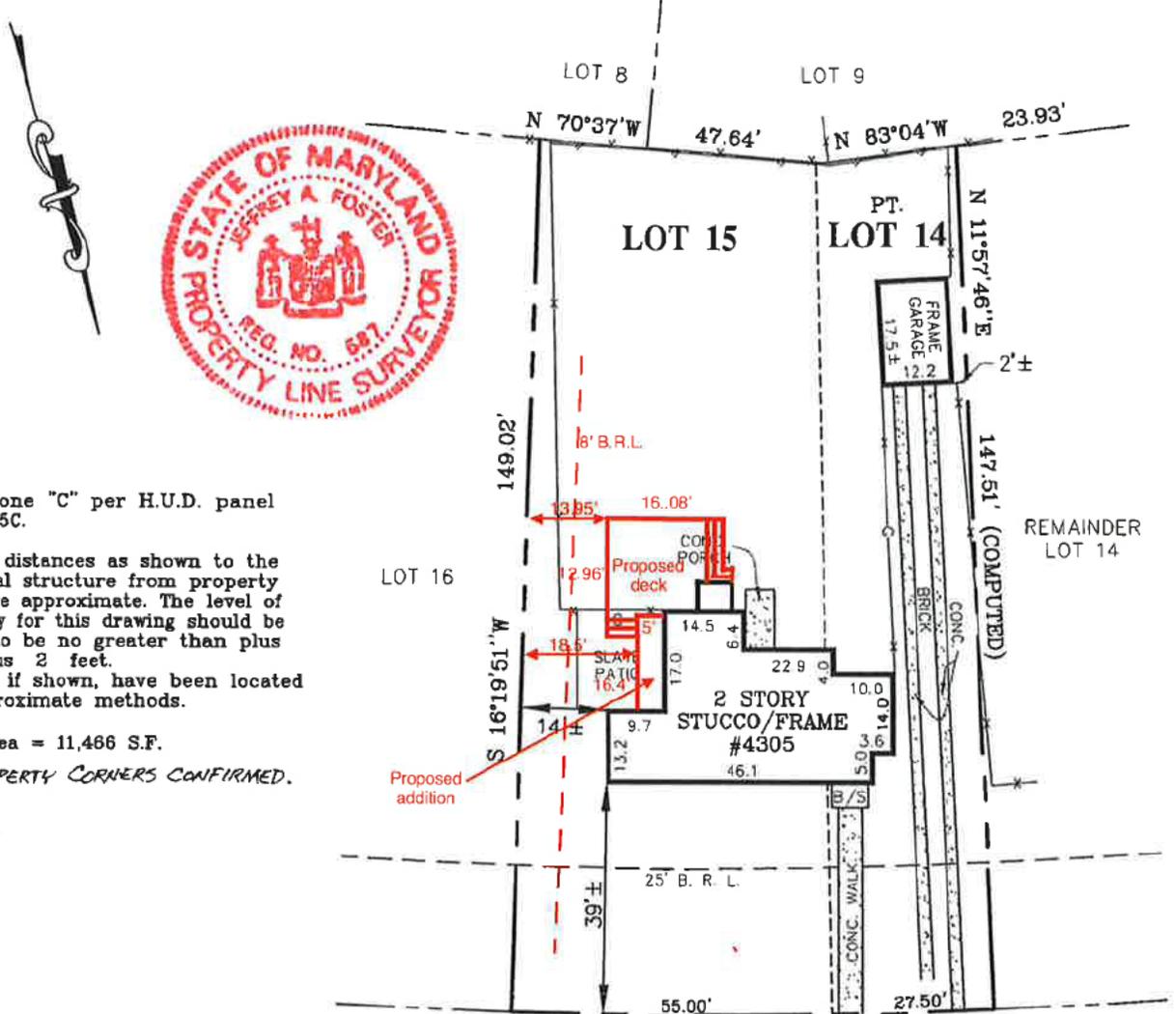
Permit and Non-Refundable Filing Fee Paid (\$10 + 10% of County permit fee (if applicable)) = \$ 170.63

Caution: To begin construction before a permit has been issued and prominently displayed for inspection at the construction site is a clear violation of municipal law.

Revised 5/2012

CONSUMER INFORMATION NOTES:

1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.
5. No Title Report furnished.



Notes

1. Flood zone "C" per H.U.D. panel No. 0025C.
2. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 2 feet. Fences, if shown, have been located by approximate methods.
3. Total area = 11,466 S.F.
4. No Property Corners Confirmed.

LOCATION DRAWING
 LOT 15 AND PART OF 14, BLOCK 4
 SECTION ONE
 UNIVERSITY PARK
 PRINCE GEORGE'S COUNTY, MARYLAND

A=82.50' (TOTAL)
 R=1077.97'

SHERIDAN STREET
 (50' R/W PER PLAT)

SURVEYOR'S CERTIFICATE		REFERENCES			SNIDER & ASSOCIATES SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 2 Professional Drive, Suite 216 Gaithersburg, Maryland 20878 301/948-5100, Fax 301/948-1286	
"THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION."		PLAT BK.	2			
		PLAT NO.	69			
Jeffrey A. Foster MARYLAND PROPERTY LINE SURVEYOR REG. NO. 587		LIBER		DATE OF LOCATIONS	SCALE: 1" = 30'	
		FOLIO		WALL CHECK:	DRAWN BY: P.Y.	
				HSE. LOC.: 09-21-06	JOB NO.: 06-6812	

305 SHERIDAN ST HYATTSVILLE 20782

CASE NUMBER : 2244-2020-00

PRINCE GEORGE'S COUNTY

PERMIT

ISSUANCE DATE : Mar-06-2020

EXPIRATION DATE :

DEPARTMENT OF PERMITTING, INSPECTIONS AND ENFORCEMENT PERMITTING CENTER
9400 PEPPERCORN PLACE, 1st FLOOR, LARGO, MD 20774 (301) 883-5900

PROPERTY OWNER
Lisa and Matthew Beckmann
305 Sheridan ST
University Park, MD 20782
(571) 256-9450



CONTRACTOR
Springbrook Home Improvements
8670 Reservoir RD
Fulton, MD 20759
LICENSE NUMBER: 29392 (301) 604-6909

OCCUPANT
Lisa and Matthew Beckmann
305 Sheridan ST
University Park, MD 20782
(571) 256-9450

ARCHITECT
Jon Reinard
6719 44th AVE
University Park, MD 20782

TYPE OF PERMIT : DPIC RGU/W
WORK DESCRIPTION : 5'x16.4', 2 story-addition, 16.08'x12.96' deck w/ steps & interior renovation. Finish basement for better utility.
EXISTING USE : Single Family Residential
ZONE (MNCPPC ZONING) : DWELLING/SINGLE FAMILY DETACH, DECK
DIVISION : UNIVERSITY PARK

HEIGHT FT :	28	OCUPANCY LOAD :	500	ELECTRICITY :	
WIDTH FT :	5	SITE CERTIFICATE :		CENTRAL A/C :	
DEPTH FT :	17	STRUCTURE CERT :		ELEVATOR :	
NO STORIES :		SEWER :	WSSC	ESCALATOR :	
DWELL UNITS :		WATER :	WSSC	BASEMENT :	
PARKING SP :	0	HEATING :		BOILER NUMBER :	
LIVE LOAD :		PARCEL :		CBCA :	N
USE GROUP :	R-3			HISTORICAL :	N
TYPE CONST :	5A			SIGN NUMBER :	

Conditions

Must comply with Sec. 27-420. Fences and walls. Please note: Except for fences less than four (4) feet in height, fences not requiring a permit, and fences on land assessed as agricultural uses, all structural support (vertical posts and horizontal rails) shall face the interior of the subject lot.
outlined in County Code Subtitle 4-111 no work shall be performed during the hours of 9:00 p.m. to 7:00 a.m., unless work is performed pursuant to Section 4-120 of this Subtitle.
by the Licensed Contractor or Homeowner, named on the Permit as contractor, is permitted to perform the scope of work on the permit at the address specified.

MUST COMPLY WITH MUNICIPAL, HOMEOWNER/CIVIC ASSOCIATION AND LOCAL COVENANTS. A FINE MAY BE IMPOSED IF CONSTRUCTION IS BEGUN WITHOUT REQUIRED APPROVALS

THIS PERMIT IS VOID SIX (6) MONTHS FROM DATE ISSUED IF CONSTRUCTION HAS NOT STARTED, HAS BEEN SUSPENDED OR DISCONTINUED UNLESS OTHERWISE INDICATED

Melinda Bolling

BUILDING INSPECTOR	HEALTH	ELECTRICAL	PLUMBING	FIRE MARSHALL
APPROVED :				

INSPECTION APPROVALS

Melinda Bolling

Successful Payment Receipt

Please print this receipt for your records

Remittance ID:	h0vhplmizu5hzsbcinov3g0m
Received:	March 06, 2020 11:35AM EST
Permit Number:	2244-2020-00/DPIE RGUW
Telephone Number:	3016999808
Amount:	\$1,606.25
Service Fee:	\$1.49
Service Fee Type:	Dual Transaction
Total Amount:	\$1,607.74
Transaction Type:	Debit
Check Information:	Personal
	Account Type: Checking
	Account Number: *****8257
	Routing Number: 314074269
	Name on Account: MATTHEW BECKMANN
Billing information:	Address Line 1: 4305 Sheridan Street
	Country: United States
	City: HYATTSVILLE
	State: Maryland
	ZIP Code: 20782

Please be advised that payments may take up to 2 business days to post.

Click [here](#) to process another payment.

PROJECT INFO:

EXISTING HOUSE: Two story plus Basement & Unfinished Attic single family home constructed in 1928. Stucco on frame walls. Poured concrete foundation walls.
 SCOPE OF WORK:
 First Floor: Addition to include Kitchen extension & renovation and new Bath 1. New deck. Renovated space to include Mudroom & new basement stair. Convert existing Den to Bedroom 3.
 Second Floor: Addition to include new Master Bath and Bath 2.
 Basement: New conditioned crawl space. Finish portion of existing Basement.

ADDRESS:	4305 Sheridan Street University Park, MD 20782		
LOCATION:	Lot 14 and part of 14, Block 4, Section One, University Park Plat Book 2, Plat No. 69		
LOT AREA:	11,466 SF		
ZONING:	Zone R-55		
SETBACKS:	ALLOWED:	PROPOSED:	
FRONT:	25'	39.7'	
SIDE:	8'/ 17'	13.95'/ 14.67'	
REAR:	20'	66.58'	
MAX ROOF HEIGHT:	ALLOWED: 35'	EXISTING: 27'-8"	PROPOSED: 23'-3"
LOT COVERAGE:	30%	14%	15%

EXISTING LOT COVERAGE CALCULATION:
 Lot area: 11,466 sf
 Max lot coverage: 30% (includes structures under roof & driveway)
 Existing House & covered porches: 1,183 sf
 Existing detached garage: 205 sf
 Existing Driveway: 215 sf
 Total Existing Lot Coverage: 1,603 sf / 11,466 sf = 14%

PROPOSED LOT COVERAGE CALCULATION:
 Proposed Addition: 82 sf
 Total Proposed Lot Coverage: 1,603 sf existing + 82 sf proposed = 1,685 sf / 11,466 sf = 15%

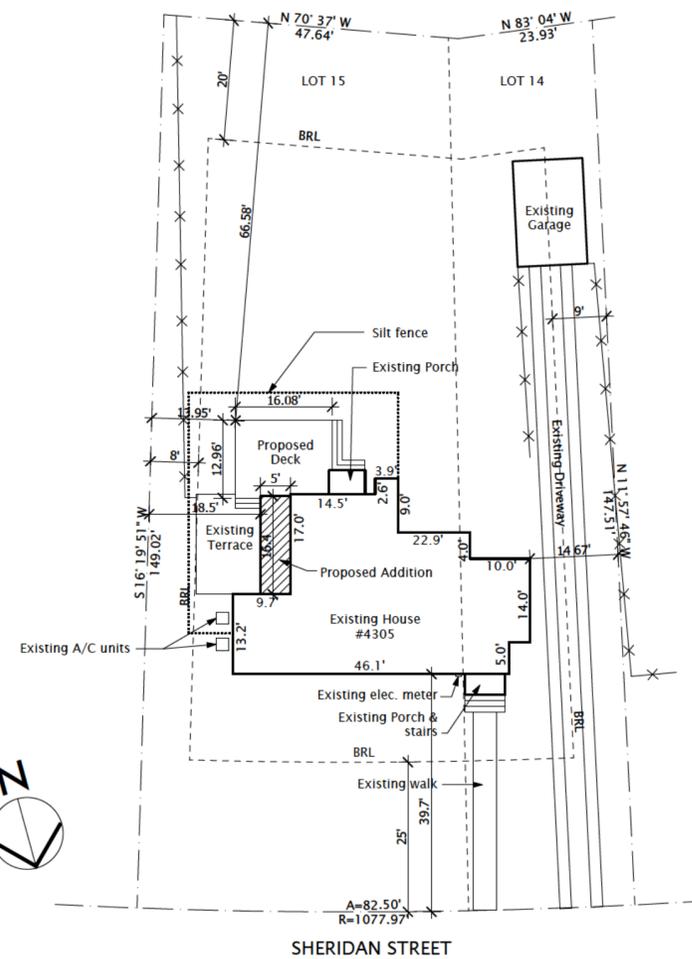
SQUARE FOOTAGE:	EXISTING	RENOV.	ADDED:	TOTAL: Exist. + Added
BASEMENT FLOOR AREA:	975 SF	532 SF	0 SF	975 SF
FIRST FLOOR AREA:	1,102 SF	502 SF	82 SF	1,184 SF
SECOND FLOOR AREA:	866 SF	80 SF	68 SF	934 SF
ATTIC FLOOR AREA:	0 SF	0 SF	0 SF	0 SF
TOTAL FLOOR AREA:	2,943 SF	1,114 SF	150 SF	3,093 SF

Beckmann Addition

4305 Sheridan Street
University Park, MD 20901

First Floor: Addition to include Kitchen extension & renovation and new Bath 1. New deck. Renovated space to include Mudroom and new basement stair. Convert existing Den to Bedroom 3.

Second Floor: Addition to include new Master Bath and Bath 2.
Basement: Finish portion of existing Basement.



Site Plan
1" = 20'

**Jon Reinhard
Architect, AIA**

6719 44th Avenue
University Park, MD
20782
301.437.2436
jonreinhard@mac.com

Surface Materials	Section Materials	Drawing Symbols	Drawing List	Vicinity Map				
<ul style="list-style-type: none"> Brick - Running Block - Running Parged Concrete Shingles/Shakes Metal Roof Slate Roof Marble/Granite Ceramic Tile - Size Varies Stone Tile - Size Varies Flagstone Irregular Flagstone Random Rectangular Wood Floor/Siding Stone Veneer 	<ul style="list-style-type: none"> Brick Poured Concrete CMU Rubble Stone Fire Brick Finish Stone/Slate Earth Undisturbed Earth Backfill Steel Finish Wood Plywood Dimensional Lumber Wood Blocking 	<ul style="list-style-type: none"> Building Section Building Elevation Interior Elevation Level Elevation: Section/Elevation Revision Window Door Structure Member Footing, Keynote Wall Section/Detail Roof Slope Level Elevation: Plan 	<ul style="list-style-type: none"> T1 Cover T2 General Notes T3 Schedules T4 Insulation D0 Basement Demolition Plan D1 First Floor Demolition Plan D2 Second Floor Demolition Plan D3 Front & Right Demo Elevati... D4 Rear & Left Demo Elevations A1-0 Basement Plan A1-1 1st Floor Plan A1-2 2nd Floor Plan A1-3 Roof Plan A2-1 Front & Right Elevations A2-2 Rear & Left Elevations A2-3 Building Sections A2-4 Building Sections A2-5 Stair Section A3-1 Wall Sections A3-2 Construction Details E0 Basement Elec Plan E1 1st Floor Elec Plan E2 2nd Floor Elec Plan S0 1st Floor Framing Plan S1 2nd Floor Framing Plan S2 Roof Framing Plan 					
Project Team			Applicable Code	<p>Beckmann Addition 4305 Sheridan Street University Park, MD 20782</p> <p>5 March 2020</p> <p>Construction Set</p> <table border="1"> <tr> <td>8 Jan 2020</td> <td>Permit Set</td> </tr> <tr> <td>11 Feb 2020</td> <td>Permit Rev 1</td> </tr> </table> <p>Cover</p> <p>T1</p>	8 Jan 2020	Permit Set	11 Feb 2020	Permit Rev 1
8 Jan 2020	Permit Set							
11 Feb 2020	Permit Rev 1							
<p>ARCHITECT: Jon Reinhard, Architect, AIA 6719 44th Avenue University Park, MD 20782 301-437-2436</p> <p>GENERAL CONTRACTOR: Springbrook Home Improvements 8670 Reservoir Road Fulton, MD 20759 301-604-6909 MHIC 29392</p> <p>STRUCTURAL ENGINEER: William Siegel, PE WS Engineering 7011 Wells Parkway Hyattsville, MD 240-277-2256</p>	<p>2015 International Residential Code</p> <p>Utilities</p> <p>Electric: PEPCO overhead service.</p> <p>Natural gas: Washington Gas</p> <p>Water & sewer: WSSC</p>							

Residential Code Notes

- All construction shall be in conformance with the International Residential Code (IRC), 2015 Edition, as amended by Montgomery County Executive Regulation. All chapters, tables, sections, figures, and appendices referenced within are from IRC. This document contains items often written on approved plans and is provided for convenience only. It is not intended as a substitute for the code or all of its provisions.
- The residential construction design parameters are as follows:

GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP.	ICE SHEILD UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.	SOIL BEARING CAPACITY (ASSUMED)
			WEATHERING	FROST DEPTH	TEMPERATURE						
30 PSF	90 MPH 3 sec gusts	B	SEVERE	30 IN.	MODERATE TO HEAVY	13 F	YES	JULY 2, 1979	300	55 F	1,500 PSF

- TABLE R301.5. Minimum design live load values shall conform to the following values:

USE	LIVE LOAD
Attics With Storage (a)	20
Attics Without Storage (a)	10
Decks (e)	40
Exterior Balconies	60
Fire Escapes	40
Guardrails and Handrails (d)	200
Guardrails In-Fill Components (f)	50
Passenger Vehicle Garages (a)	50 (a)
Rooms Other Than Sleeping Rooms	40
Sleeping Rooms	30
Stairs	40 (c)

- Elevated garage floors shall be capable of supporting a 2,000-pound load applied over a 20-square-inch area.
- No storage with slope roof not over 3 units in 12 units.
- Individual stair treads shall be designed for the uniformly distributed live load or a 300-pound concentrated load acting over an area of 4 square inches, whatever produces the greater stresses.
- A single concentrated load applied in any direction at any point along the top.
- See Section R502.2.1 for decks attached to exterior walls.
- Guard-in-fill components (all those except the handrail), balusters and panel fillers shall be designed to withstand a horizontally applied normal load of 50 pounds on an area equal to 1 square foot. This load need not be assumed to act concurrently with any other live load requirement.

GENERAL NOTES

- General
 - Project documents:
 - Large-format drawing sheets bearing the name of the Architect and Project, and the notation "Construction Set" or "Revision #". Sheets bearing the notations, "Final Set", "Not for Construction", "Preliminary", "Pricing", or "Schematic" shall not be used for construction.
 - Specifications bearing the notation, "Construction Specifications - Preliminary and other specifications shall not be used for construction.
 - Supplemental drawing sheets bearing the name of the Architect, Project, and the notation "SK-#". Such drawings become part of the Project Documents as they are issued.
 - Schedules of finishes, doors, windows, and other manufactured products, which may be issued as part of any of the above documents.
 - Any work done from out-of-date documents will be solely at the Contractor's risk and expense.
 - Inconsistencies:
 - Any inconsistencies found between the drawings and existing conditions, or among the drawings, or between the drawings and the specifications, shall be reported to the Architect. The Contractor shall not perform any work effected in any manner by the inconsistencies until the Architect has clarified the information. Any work done without such clarification will be solely at the Contractor's risk and expense. The Architect will resolve the inconsistencies in a timely manner.
 - Project Document Precedence:
 - In the event of conflicting information within the project documents, the following precedence order shall be followed:
 - Specifications
 - Drawings at larger scale
 - Drawings at smaller scale
 - Where construction documents specify more stringent requirements than building code minimums, construction document requirements shall govern.
 - Dimensions:
 - Columns are dimensioned to centerline.
 - Wood framing is dimensioned to face of raming.
 - Concrete and masonry are dimensioned to face of material.
 - Openings are dimensioned to centerline, UNO. See door and window schedules or rough openings and masonry openings if applicable.
 - Existing conditions:
 - All existing conditions, materials, dimensions and elevations shall be verified by the Contractor prior to beginning work.
 - Extreme care and safety measures must be taken by the General Contractor so as not to damage the existing structure in any way. Any damage to the existing structure resulting from construction work shall be the sole responsibility of the Contractor.
 - Codes and standards:
 - International Residential Code for One- and Two-Family Dwellings, 2015 Edition.
 - Concrete ACI 318 Building Code Requirements for Structural Concrete and Commentary, latest edition, or the American Concrete Institute.
 - Structural Steel Code of Standard Practice for Steel Buildings and Bridges, March latest edition, or the American Institute of Steel Construction.
 - Welding Structural Welding Code - Steel, latest edition, or the American Welding Society.
 - Masonry ACI 530/ASCE 5 / MS 402.
 - Wood Framing National Design Specification for Stress-Grade Lumber and Its Fastenings or the National Forest Products Association, latest edition.
 - Design Loads:
 - Live loads:
 - Rooftops 30 PSF
 - Sleeping Rooms 30 PSF
 - Floors other than Sleeping 40 PSF
 - Dead loads: Minimum design dead weight of superimposed building materials in accordance with table A1 of the Minimum Design Loads for Building and Other Structures, ANS A58.1-82. Dead load not less than 10 PSF.
 - Wind Speed 90 MPH, 3 second gust.
 - Seismic design category B.
 - Design Code Notes:
 - Ceiling Heights:
 - Habitat rooms, hallways, corridors, bathrooms, toilet rooms, laundry rooms and basements shall have a ceiling height of no less than 7'-0". The required height shall be measured from the finish floor to the lowest projection from the ceiling. RC sec. R305. Exceptions: 1) Beams and girders spaced not less than 48" on center may project not more than 6" below the required ceiling height. 2) Not more than 50% of the floor area of a room or space is permitted to have a sloped ceiling less than 7'-0" in height.
 - Any floor area having less than 5'-0" ceiling height shall not be considered part of the room area and shall not be allowed to have any permanent fixtures or furnishings such as, but not limited to, bathtubs, showers, water closets, sinks, cabinets, counters, and shelves.
 - Garage floor shall be at least 4" below the adjacent dwelling floor, or a permanent noncombustible liquid-tight curb, at least 4" high, shall be on the garage side. Garage shall be provided with minimum 1/2" drywall. A solid wood door 1-3/8" thick or a 20-minute fire-rated door is required. RC §R309.
 - Egress openings:
 - Every sleeping room and every habitable room shall have at least one operable window or exterior door opening or emergency escape and rescue. Openings shall have a sill height of not more than 44" above the floor. All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 sq. ft., a minimum net clear opening width of 20", and a minimum net clear opening height of 24". RC §R310.
 - All egress doors and windows shall be readily operable from the side, room which egress is to be made without the use of a key or special knowledge or e. o. t., RC §R310.1.4.
 - Stairs:
 - Stairs shall comply with RC §R311.5, and handrails shall comply with RC §R311.5.6.
 - Reads and risers shall comply with RC §R311.5.3, as amended by Montgomery County Executive Regulation:
 - read 10" min.
 - Riser 7 3/4" max.
 - Open risers shall not permit the passage of a 4" diameter sphere.
 - Headroom: Minimum headroom in stairways shall be 6'-8", as described in RC §R311.5.2.
 - Under-stair protection: Accessible space under stairs shall be finished with 1/2" GWB to comply RC §R311.5.
 - Handrails shall have a minimum height of 34" and a maximum height of 38" measured from the nosing of the treads. RC §R311.5.5.1.
 - Illumination: Interior and exterior stairways shall be illuminated in compliance with RC §R311.5.7.
 - Guard railings:
 - Where required: Porches, balconies or raised floor surfaces located more than 30" above the floor or grade below and retaining walls with a difference in grade level on either side of the wall exceeding 4'-1" and within 2'-1" of a walk, path, parking lot or driveway on the high side shall have guards not less than 36" in height. Open sides of stairs with a total rise of more than 30" above the floor or grade below shall have guards not less than 34" in height. RC §R312.
 - Opening limitations: Required guards as described above shall have intermediate balusters that do not allow the passage of a 4" diameter sphere. Required guards shall be constructed with horizontal rails or other pattern that results in a ladder effect. Exception: triangular openings formed by the riser, tread, and bottom rail of a guard at the open side of a stairway are permitted to be of such a size that a 4" diameter sphere cannot pass through. RC §R312.2.
 - Smoke Alarms:
 - Smoke alarms shall, at a minimum, be placed in the following locations:
 - Each sleeping room.
 - Outside of each separate sleeping area in the immediate vicinity of the bedrooms.
 - On each additional story in compliance with RC §R312.2.
 - Interconnection: All smoke alarms in the dwelling shall be interconnected so that activation of one activates all the others. RC §R313.2.
 - Power source: Smoke alarms shall be hard-wired, with battery backup, RC §R313.3. Low voltage heat or smoke detection systems require a permit from the Department of Fire and Rescue Services.
 - Automatic sprinkler systems RC §R317.3.
 - Foundations:
 - Concrete and masonry foundation walls shall comply with RC R404.1. Walls shall be capable of supporting lateral or 40 pc per foot or depth below grade.
 - Foundation concrete shall comply with RC §R402.2.
 - Height of walls: Concrete and masonry foundation walls shall extend above the finished grade adjacent to the foundation at all points a minimum of 4" where masonry veneer is used and a minimum of 6" elsewhere. RC §R404.1.6.
 - Wood sill plates: Wood sill plates shall be pressure-preservative-treated. The minimum width shall be the width of the studs of the frame wall directly above. Sill plates shall be anchored to the foundation with anchor bolts or approved straps spaced a maximum of 4'-0" OC, and shall also be located within 12" from the ends of each plate section. Bolts shall be at least 1/2" diameter and shall extend a minimum of 7" into masonry or concrete. RC §R403.1.6.
 - Crawlspace:
 - Crawlspace (or "Under-Floor Space") shall comply with RC §R408.
 - Ventilation:
 - Minimum net area of ventilation openings shall not be less than 1 square foot per 150 sq ft of crawlspace area.
 - One ventilating opening shall be within 3'-0" of each building corner.
 - Access: An access opening at least 18" x 24" shall be provided at the crawlspace, RC §R408.4.
 - All untreated lumber shall be minimum 18" above finished grade, and shall comply with RC §R324.
 - Roofs:
 - Roof loads shall be transmitted to foundation.
 - Roof assemblies shall comply with RC Chapter 9.
 - Roof ventilation and attic access shall comply with RC §R806 and §R807.
 - Fireplaces, bars, and chimneys:
 - Chimneys and fireplaces shall comply with RC Chapter 10 and Fig. R1003.1. Flue sizes shall be determined in accordance with Fig. R1001.12.2.
 - Clearance to combustible materials:
 - Masonry chimneys located within the exterior walls of the building shall have a minimum air space clearance to combustibles of 2". Chimneys located entirely outside the exterior walls of the building, including chimneys that pass through the soffit or cornice, shall have a minimum air space clearance of 1". The air space shall not be filled, except to provide fireblocking in accordance with RC §R602.2 and §R1001.15.
 - All wood beams, joists, studs and other combustible material shall have a clearance of not less than 2" from the front faces and sides of masonry fireplaces and not less than 4" from the back faces of masonry fireplaces. RC §R1003.1.
 - Ventilation: Factory-built or masonry fireplaces shall be equipped with an exterior air supply to assure proper fuel combustion, unless the room is mechanically ventilated and controlled so that the indoor pressure is neutral or positive. RC sec. R1005.
 - Swimming pools:
 - All residential swimming pools shall comply with RC Appendix G, and Article 690 of the National Electric Code.
 - Swimming pool areas shall be enclosed in compliance with RC §AG105, as amended by Montgomery County Executive Regulation. The minimum barrier height shall be 5'-0".
 - Miscellaneous:
 - Energy efficiency: All dwellings shall comply with RC Chapter 11, Energy Efficiency. Exception 1 - story additions of 200 sq. ft. or less.
 - Radon: Radon venting is required and shall be installed per RC Appendix F (Radon Control Methods).
 - Safety glass: Glass in doors, side lights, tub and shower enclosures, and skylights shall be safety glass. RC §R308.4.
 - Manufactured parts: All manufactured parts to be installed according to Manufacturer's specifications.
- Site Work:
 - Soil:
 - Soil bearing capacity minimum requirement: 2000 PSF UNO.
 - Assumed soil equivalent liquid pressure: 40 PSF.
 - Drainage:
 - Lot drainage shall comply with RC §R401.3.
 - Foundation drainage shall comply with RC §R405.1.
 - Fill:
 - Unless otherwise determined by soil engineer, all fill under paving and slab shall be graded mixtures of sand and gravel, well-compacted by appropriate types of compaction equipment in successive layers not greater than 6" thick, to a density not less than 95% of the maximum density at optimum moisture content determined by AS MO-695, the standard Proctor method. Fill material shall be free from organic material, trash, muck, concrete, asphalt or other deleterious substances. Prior to placing fill, the existing surface shall be cleared of all soil and organic material.
 - Basement wall shall not be back filled until the first floor framing is in place and the walls have been braced. RC §R404.1.7.

- Concrete:
 - Compressive strength of concrete: c 3000 PS, UNO.
 - Concrete:
 - All castings shall comply with RC §R403.
 - All castings shall be carried to a minimum of 12" into undisturbed, original soil or controlled compacted gravel.
 - Frost depth: Bottom of exterior castings shall be minimum of 24" below finished exterior grade. Footings shall step when required, at a maximum slope of one unit vertically to two units horizontally. The horizontal distance between steps shall not be less than 16".
 - Utility lines passing under footing shall be protected with concrete cover 9" minimum at sides and bottom of lines and up to bottom of wall or footing structure.
 - Minimum cover or reinforcement:
 - Slabs and walls at least not exposed to weather: 1 1/2"
 - Columns and bottoms and sides of beams: 1 1/2"
 - Bottoms of slabs poured on vapor barrier: 1 1/2"
 - All members exposed to weather or back fill: 1 1/2"
 - Footings and all members placed against earth: 3"
 - Slabs:
 - Concrete slabs-on-grade to be a minimum of 4" thick, reinforced with 6x6-10/10 welded wire fabric, placed over a minimum of 4" gravel. RC §R506.2.
 - Interior slabs to have 5 mil polyethylene vapor barrier beneath concrete.
 - Miscellaneous:
 - The Contractor is responsible for providing necessary inserts, sleeves, clips and anchors and miscellaneous devices as may be required for construction. Dimensions and locations of these items shall be verified before concrete is placed.
 - Masonry:
 - Structural masonry construction shall comply with RC §R606.
 - Masonry Veneer:
 - Masonry veneer construction shall comply with RC §R703.7-8.
 - Weepholes: Maximum weephole spacing shall be 33" OC, and minimum diameter shall be 3/16". Weepholes shall be located directly above the flashing. RC §R703.7.6.
 - Flashing shall comply with RC §R703.8.
 - Masonry ties: Galvanized hot-dipped galvanized, at maximum 16" OC horizontal and 24" OC vertical.
 - Concrete masonry to have a minimum compressive strength of 1000 PSI.
 - Masonry mortar to conform to AS M C270, type S or foundation walls and type N elsewhere.
 - Metal:
 - Structural Steel:
 - Structural Steel to have a minimum yield strength of 36 ksi per AS M A36.
 - All steel columns: 3" std pipe sch 40 with 4" long cap, UNO.
 - Use only E70XX welding electrodes.
 - Steel lintels: At masonry openings, provide one angle or each 4" of masonry wall as follows, UNO:
 - Width up to 3'-5": 1 1/2" x 3 1/2" x 1/4" (5/16" or exterior)
 - 3'-6" to 5'-11": 1 1/2" x 3 1/2" x 5/16"
 - 6'-0" to 7'-11": 1 1/2" x 3 1/2" x 5/8"
 - Greater than 7'-11": Design required.
 - Reinforcing Steel:
 - Reinforcing steel to be AS M A615 Grade 60.
 - Welded wire fabric shall conform to AS M A118-85. Lap the edges of wire fabric at least one cell width in each direction. All slabs on grade shall have a minimum of one layer of 6x6-10/10 welded wire fabric at mid-depth, UNO.
 - Flashing:
 - Provide metal flashing at all window heads, horizontal window sills, windosills, at the bottom of all cavity walls and at all other locations recommended by SMACNA.
 - See Architectural drawings or additional miscellaneous metal not shown in structural drawings.
 - Wood & Plastic:
 - Framing:
 - General:
 - Stud Walls:
 - Spacing: Maximum stud spacing shall be 16" OC.
 - Plates: All stud bearing walls to be provided with 2 continuous top plates and one continuous bottom plate. Splices on top plate shall occur over stud. Splices in bottom plate shall be staggered at a minimum of 4'-0". When the top plate or any load bearing wall is cut more than 50% of its width, a galvanized metal tie must be used in compliance with RC §R602.6.1.
 - Joists: Structural posts or multiple studs shall be nailed 24" OC both sides.
 - Bridging: Provide horizontal bridging at mid-height of wall, UNO. Stucco walls shall have bridging at each sheathing joint.
 - Headers: All ramed openings in bearing walls shall have headers as follows, UNO:
 - 2x4 stud walls (2)2x6s
 - 2x4 stud walls (2)2x6s
 - Holes and notches: Holes bored in single bearing wall studs shall not exceed 40% of stud width. Holes bored in double bearing wall studs shall not exceed 60% of the stud width. No more than two consecutive studs may be doubled and so bored. Notches in bearing wall studs shall not exceed 25% of stud width. Holes and notches shall not over lap in any stud cross-section. Holes must be at least 5/8" from either stud edge. RC §R602.6.
 - Fireblocking: Shall comply with RC §R602.8.
 - Bracing: Shall comply with RC §R602.10.
 - Perimeter walls:
 - Continuously sheathed w/ 15/32" APA Rated sheathing per RC §R602.10.5 in accordance with method 3 of RC §R602.10.3 or designed using the wind load in General / Design Loads above.
 - Joist Decks:
 - Blocking: Shall comply with RC §R602.7.1.
 - Openings: Shall comply with RC §R602.10.
 - Holes and notches in nominal dimension lumber:
 - Notches shall not be in the top or bottom of the joists and beams shall not exceed one-sixth the depth of the members and shall not be located in the middle one-third of the span (including birds-mouth cuts).
 - Notch depth at the ends of members shall not exceed 1/4 the depth of the member.
 - Holes in side of beams, joists and rafters of four inches or greater nominal thickness shall not be notched, except at the ends of members.
 - Holes bored or cut into joists shall not be deeper than 2" to the top or bottom of the joists.
 - Holes and notches in manufactured lumber or joists: Shall comply with Manufacturer's specifications.
 - Roof systems:
 - Roof sheathing shall be used under all tile and stone floors. Joints shall be staggered.
 - Draftstopping: Shall comply with RC §R502.12.
 - Fireblocking: Shall comply with RC §R602.13.
 - When the floor framing is less than 36" from the ground, a raming inspection must be requested prior to installing any roofing materials.
 - Roof systems:
 - Rafters: 2x10, UNO.
 - Prae-abricated roof trusses to be engineered, fabricated, and erected in accordance with RC §R602.10, ANS / P 1, and Manufacturer's specifications.
 - All roof trusses to be further attached to wall top plate with Simpson HT hurricane clips.
 - Use pressure-preservative-treated wood or nailers, blocking, sleepers, plates, grounds, and all framing in contact with exterior masonry walls, concrete, slabs-on-grade, and elsewhere as indicated or required.
- Materials:
 - Lumber: All lumber shall be No. 2 SPF, shall have the following minimum properties:
 - Bending stress "Fb": 1000 psi or single member use
 - Bending stress "Fb": 1150 psi or repetitive member use
 - Horizontal shear "Fv": 70 psi
 - Compression perpendicular to grain "Fc": 335 psi
 - Compression parallel to grain "Fc": 1300 psi
 - Modulus of elasticity "E": 1,900,000 psi
 - Laminated Veneer Lumber (LVL) shall have the following minimum properties:
 - Bending stress "Fb": 2850 psi
 - Horizontal shear "Fv": 285 psi
 - Modulus of elasticity "E": 1,900,000 psi
 - Plywood:
 - Bearing grade/trademark of the American Plywood Association. Span rating as required to suit stud or joist spacing indicated.
 - Wall sheathing: APA rated 1/2" plywood.
 - Floor sheathing: APA rated 3/4" Sturd-Floor plywood, glued and nailed to joists.
 - Roof sheathing: APA rated 5/8" plywood.
 - Joist and beam hangers shall be sized and installed per manufacturer's specifications.
- Execution:
 - All wood blocking, nailers, etc., shall be attached to steel or concrete framing with power actuated fasteners or 3/8" diameter bolts, unless otherwise noted. Fasteners shall be spaced at 24" maximum OC and shall be staggered. Fasteners shall have minimum capacity of 100 pounds in shear and pullout UNO.
- Normal & Moisture Protection:
 - Run exterior perimeter foundation drains to daylight.
 - Provide rubber membrane (Watergard by Certainteed) under all roofs where slopes are less than 4/12.
 - Exterior foundation walls that retain earth and habitable or usable spaces located below grade shall be waterproofed with a membrane extending from the top of the footing to the finished grade. RC §R406.2
- Mechanical:
 - Heating, Ventilation, and Air Conditioning (HVAC):
 - HVAC design, equipment, and installation shall comply with RC Part V - Mechanical.
 - Ventilation:
 - Bathrooms without windows shall be vented to the outside of the building. RC §R303.3
 - Clothes dryer exhaust:
 - Clothes dryer exhaust systems shall be independent of all other systems and shall be vented to the exterior of the building. Flexible transition duct connectors shall not be concealed within the walls or ceiling. RC § M1501.1.
 - The maximum length of a clothes dryer exhaust duct shall not exceed 25' from the dryer location to the wall or roof termination. The maximum length of the duct shall be reduced to 15' or each 45-degree bend and 9' or each 90-degree bend. RC §M1501.3.
 - Plumbing: Plumbing design, equipment, and installation shall comply with RC Part V - Plumbing.
- Electrical: Electrical design, equipment, and installation shall comply with RC Part V - Electrical.

Beckmann
Addition

4305 Sheridan Street
University Park, MD
20782

5 March 2020

Construction
Set

8 Jan 2020 Permit Set

11 Feb 2020 Permit Rev 1

General Notes

T2

EXTERIOR DOOR & WINDOW SCHEDULE

Beckmann Addition

1. Provide jamb extensions as required.
3. Sizes shown are unit sizes. Consult manufacturer for rough opening sizes.
4. Insulated Low-e argon gas filled glass.
5. Hardware color TBD.

Qty	Label	Units	Window/ Door						Frame Size		Finish Mull	Ext.Casing	Location(s)	Note
			Type	Mfr.	Model	Hinge	Lite Cut	Tempered	Width	Height				
1	001	1	Awning	TBD	N/A	N/A	Single lite	N/A	2-10	1-0	N/A	N/A	Basement	Replacement window: GC to verify fit in existing opening
1	002	1	Awning	TBD	N/A	N/A	Single lite	N/A	2-10	1-0	N/A	N/A	Basement	Replacement window: GC to verify fit in existing opening
1	003	1	Awning	TBD	N/A	N/A	Single lite	N/A	2-10	1-0	N/A	N/A	Basement	Replacement window: GC to verify fit in existing opening
1	004	1	Awning	TBD	N/A	N/A	Single lite	N/A	2-10	1-0	N/A	N/A	Basement	Replacement window: GC to verify fit in existing opening
1	101	1	Casement	TBD	N/A	R	3W3H	N/A	3-0	4-0	N/A	N/A	Kitchen	
1	102	1	Double hung	TBD	N/A	N/A	3W2H/1	N/A	2-0	3-6	N/A	N/A	Bath 1	
1	103	1	Entry door	TBD	N/A	R	3W3H	X	2-6	6-8	N/A	N/A	Mudroom	Glass above, Single flat panel below. GC to confirm fit in existing opening.
1	104	1	Casement	TBD	N/A	R	3W4H	N/A	2-4	4-6	N/A	N/A	Bedroom 3	GC to confirm fit in existing opening. Egress window.
1	105	1	Casement	TBD	N/A	L	3W4H	N/A	2-4	4-6	N/A	N/A	Bedroom 3	GC to confirm fit in existing opening.
1	201	1	Casement	TBD	N/A	R	2W2H	N/A	2-0	3-0	N/A	N/A	Master Bath	
1	202	1	Casement	TBD	N/A	L	2W2H	N/A	2-0	3-0	N/A	N/A	Bath 2	
1	203	1	Casement	TBD	N/A	R	2W2H	N/A	2-2	2-8	N/A	N/A	Playroom	

INTERIOR DOOR SCHEDULE

Beckmann Addition

Solid MDF doors to match existing, 1 3/8" thick unless noted otherwise.
Sizes shown are finish sizes.

Qty	Label	Size (WxH)	Finish/Material	Type	Lite Cut	Location	Hardware	Comments
1	O51	2-6x2-6	Fiberglass	Swing	N/A	Laundry/ Crawl Space	Passage	
1	O52	2-0x6-8	Painted solid MDF	Swing	N/A	Rec Rm/ Storage	Passage	
1	O53	(2) 2-6x6-8	Painted solid MDF	Double swing	N/A	Rec Rm/ Mech Closet	Dummy	
1	O54	3-0x6-8	Painted solid MDF	Swing	N/A	Rec Rm/ Mechanical	Passage	
1	151	2-4x6-8	Painted solid MDF	Swing	N/A	Mudroom/ Bath 1	Privacy	
1	152	2-6x6-8	Painted solid MDF	Swing	N/A	Mudroom/ Stair	Passage	
1	153	2-8x6-8	N/A	Cased opening	N/A	Mudroom/ Kitchen	N/A	
1	154	2-6x6-8	Painted solid MDF	Swing	N/A	Living/ Bedroom 3	Privacy	
1	251	2-4x6-8	Stained wood	Swing	N/A	Stair Hall/ Bath 2	Privacy?	Re-use existing bathroom door
1	252	2-4x6-8	Painted solid MDF	Swing	N/A	Bath 2/ Tub/WC	Privacy	
1	253	2-4x6-8	Stained wood	Swing	N/A	Master BR/ Master Bath	Privacy	Re-use existing closet door

Beckmann Addition

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5 March 2020

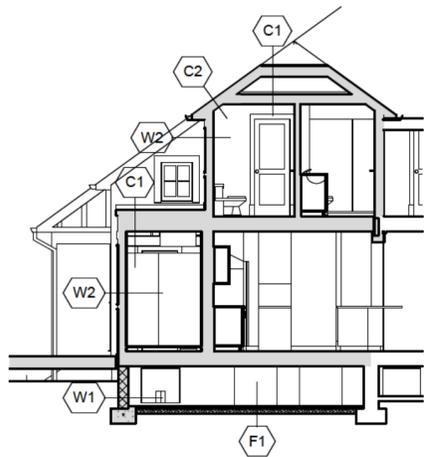
Construction Set

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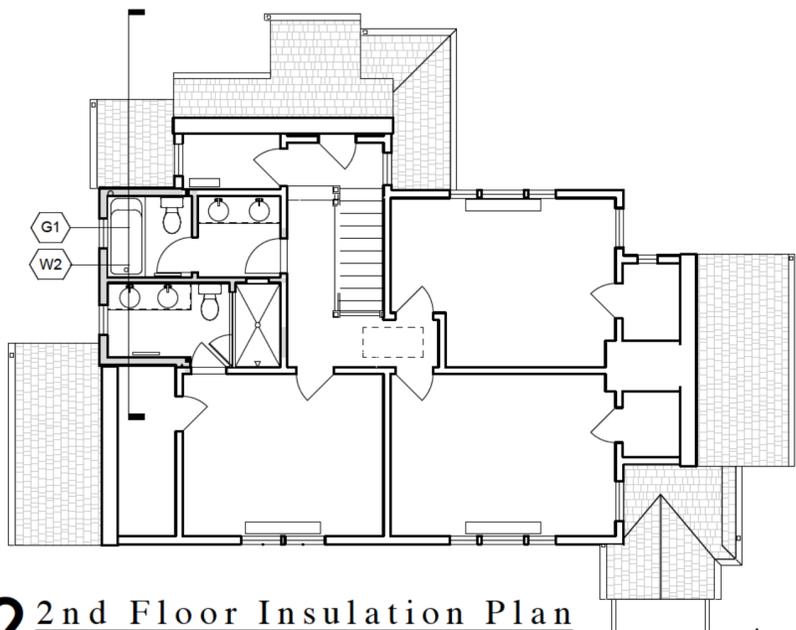
Schedules

T3



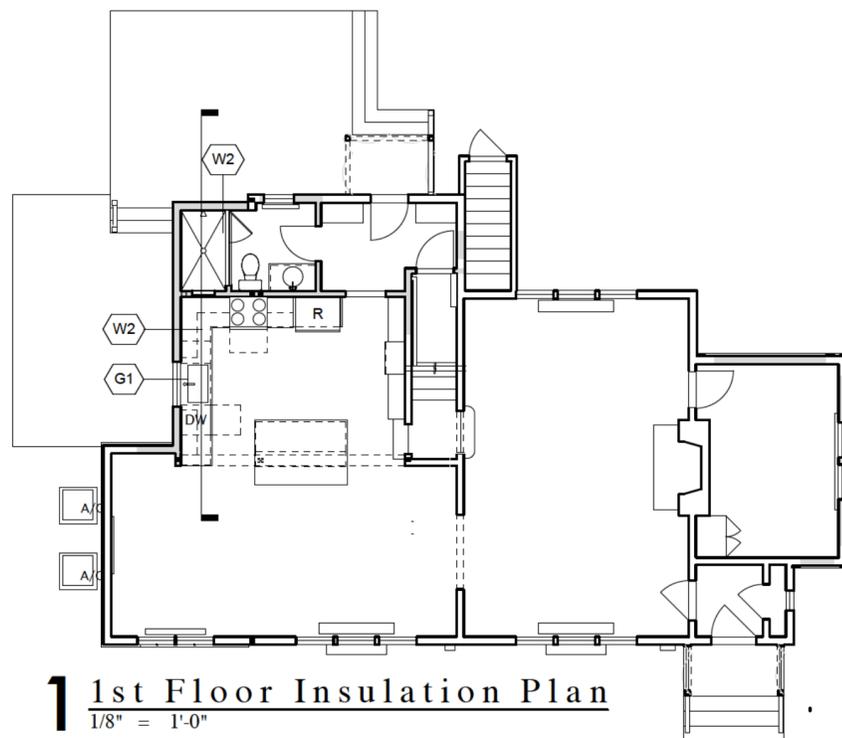
3 Insulation Section

1/8" = 1'-0"



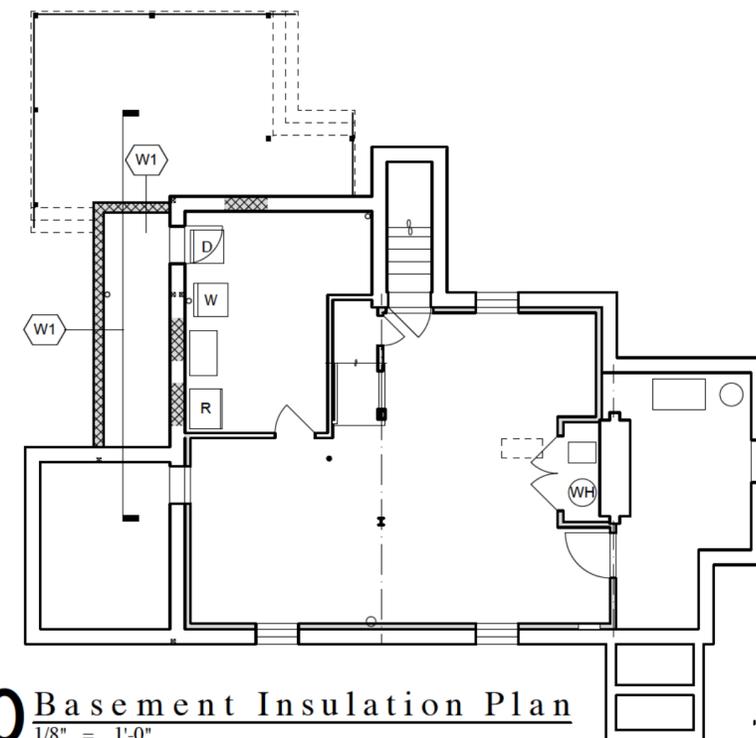
2 2nd Floor Insulation Plan

1/8" = 1'-0"



1 1st Floor Insulation Plan

1/8" = 1'-0"



0 Basement Insulation Plan

1/8" = 1'-0"

Insulation Assembly Types					
Diagram	Tag	Description	R-value	u-factor	SHGC
Wall Types					
	W1	8" masonry wall at crawl space	R-12.5		
		8" solid masonry	2.5		
		2" rigid insulation	10.0		
	W2	2x6 wood studs with cement board siding	R-21		
		Cement board siding	0.48		
		1/2" plywood sheathing	1.0		
		2x6 studs with R-19 batt insulation	19.0		
		1/2" drywall	0.45		
Floor Types					
	F1	Conditioned crawl space slab	R-11		
		2" concrete slab	1.0		
		2" rigid insulation	10.0		
Ceiling types					
	C1	Insulated ceiling	R-50		
		Fiberglass roof shingles	0.45		
		5/8" plywood sheathing	1.0		
		2x6 rafters with R-46 batt insulation	48.0		
		1/2" drywall	0.45		
	C2	Insulated cathedral ceiling/ roof	R-21		
		Fiberglass roof shingles	0.45		
		5/8" plywood sheathing	1.0		
		2x6 rafters with R-19 rigid insulation	19.0		
	G1	Insulated low-e glass in windows & doors		0.31	0.32



Generated by REScheck-Web Software
Compliance Certificate

Project Beckmann Addition

Energy Code: 2015 IECC
Location: Hyattsville, Maryland
Construction Type: Single-family Addition
Orientation: Bldg. faces 0 deg. from North
Climate Zone: 4 (4561 HDD)
Permit Date:
Permit Number:

Construction Site:
4305 Sheridan Street
University Park, MD 20782

Owner/Agent:

Designer/Contractor:
Jon Reinhard
Jon Reinhard, Architect, AIA
6719 44th Avenue
University Park, MD 20782
jonreinhard@mac.com

Compliance: Passes using UA trade-off

Compliance: 3.0% Better Than Code Maximum UA: 33 Your UA: 32 Maximum SHGC: 0.40 Your SHGC: 0.32
The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules.
It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	U-Factor	UA
Ceiling 1: Flat Ceiling or Scissor Truss	90	50.0	0.0	0.026	2
Ceiling 2: Cathedral Ceiling (no attic)	30	21.0	0.0	0.048	1
Front Wall: Wood Frame, 16" o.c. Orientation: Front	39	21.0	0.0	0.057	2
Left Wall: Wood Frame, 16" o.c. Orientation: Left side	197	21.0	0.0	0.057	10
Window: Wood Frame SHGC: 0.32 Orientation: Left side	24			0.310	7
Rear Wall: Wood Frame, 16" o.c. Orientation: Back	80	21.0	0.0	0.057	5
Crawl: Solid Concrete or Masonry Wall height: 3.0' Depth below grade: 2.0' Insulation depth: 3.0'	80	0.0	12.5	0.066	5

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2015 IECC requirements in REScheck Version : REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name - Title Signature Date

Project Title: Beckmann Addition
Data filename:

Report date: 01/06/20
Page 1 of 10

Jon Reinhard
Architect, AIA

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20782

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Beckmann
Addition

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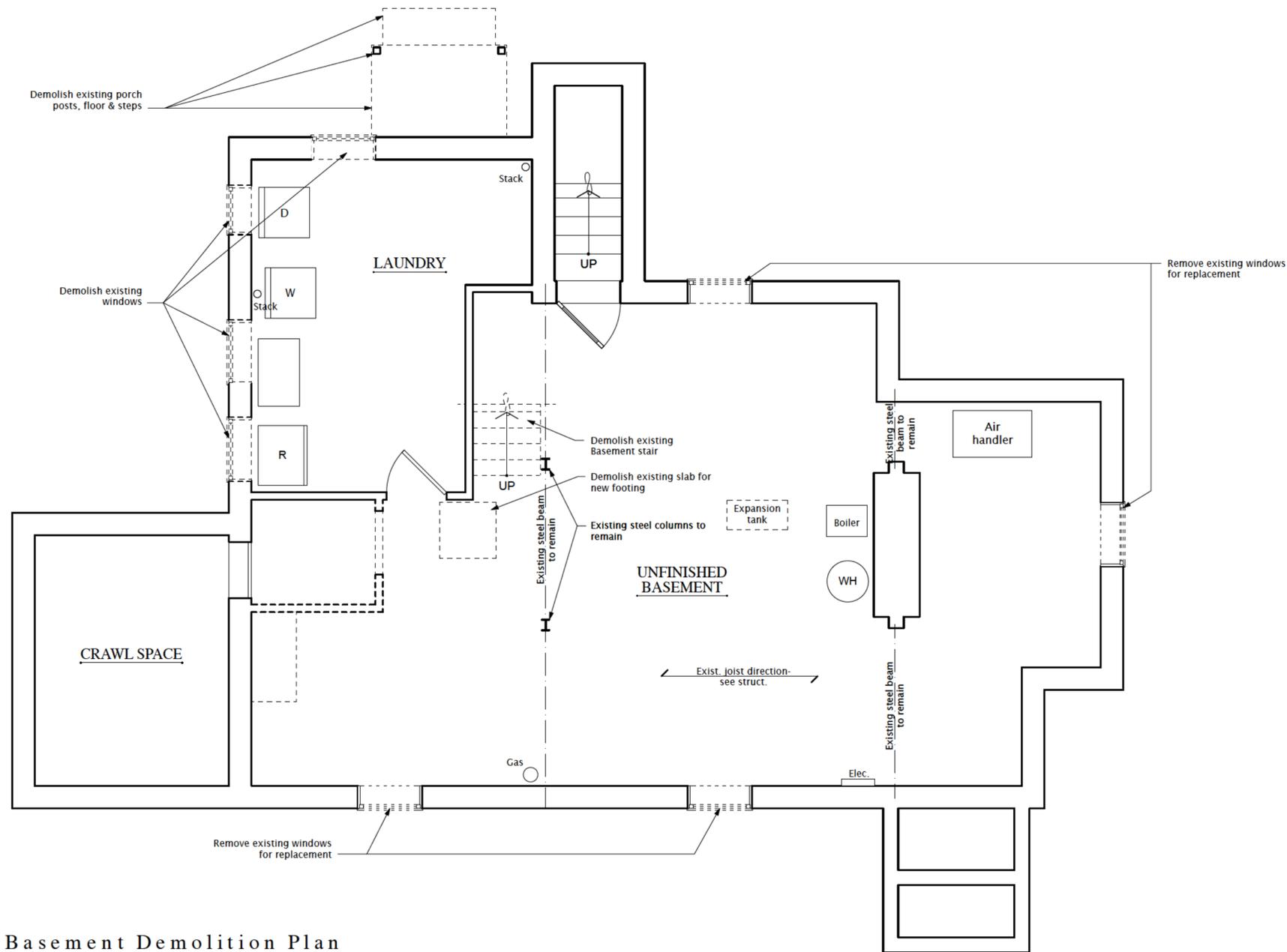
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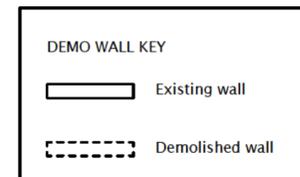
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Insulation

T4



Basement Demolition Plan
1/4" = 1'-0"



**Beckmann
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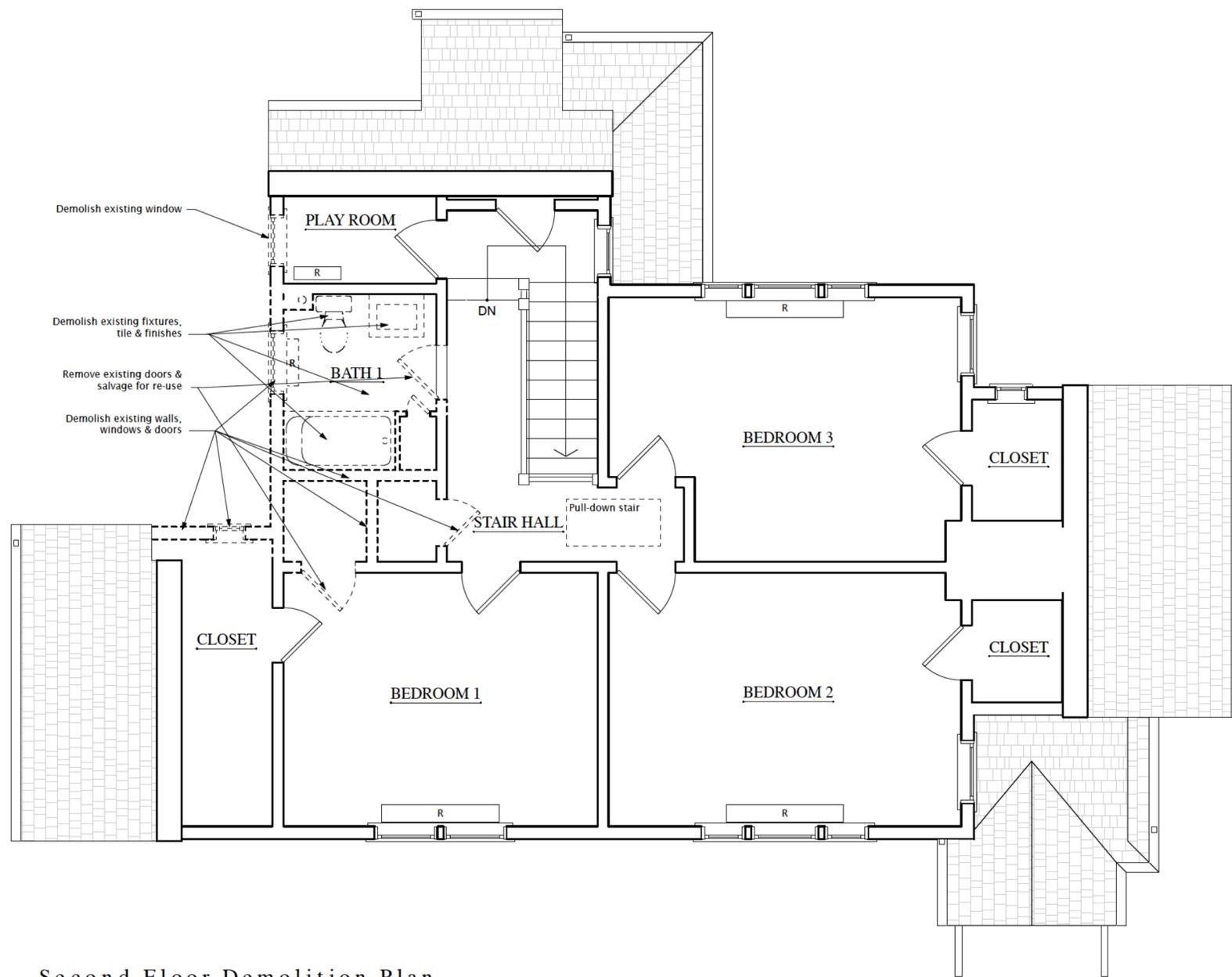
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Set**

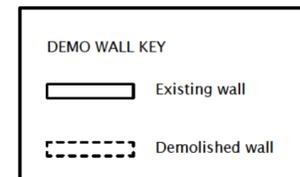
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Basement
Demolition Plan

DO



Second Floor Demolition Plan
1/4" = 1'-0"



**Beckmann
Addition**

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5 March 2020

**Construction
Set**

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Second Floor
Demolition Plan

D2



1 Front Elevation- Existing/ Demolition
1/4" = 1'-0"



2 Right Elevation-Existing/ Demolition
1/4" = 1'-0"

**Beckmann
Addition**

4305 Sheridan Street
University Park, MD
20782

5 March 2020

**Construction
Set**

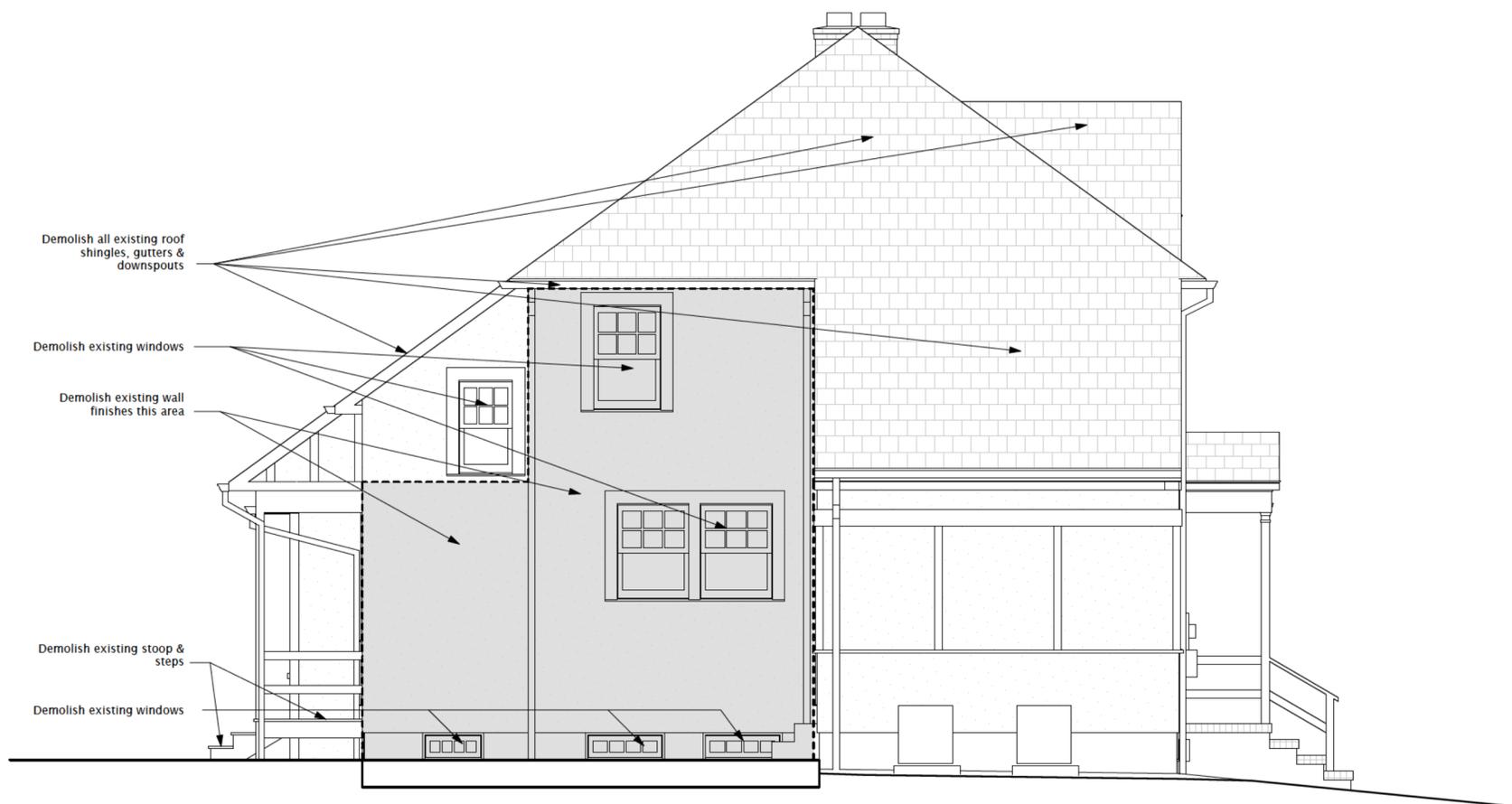
8 Jan 2020	Permit Set
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Front & Right
Demo Elevations

D3



1 Rear Elevation-Existing/ Demolition
1/4" = 1'-0"



2 Left Elevation- Existing/ Demolition
1/4" = 1'-0"

**Beckmann
Addition**

4305 Sheridan Street
University Park, MD
20782

5 March 2020

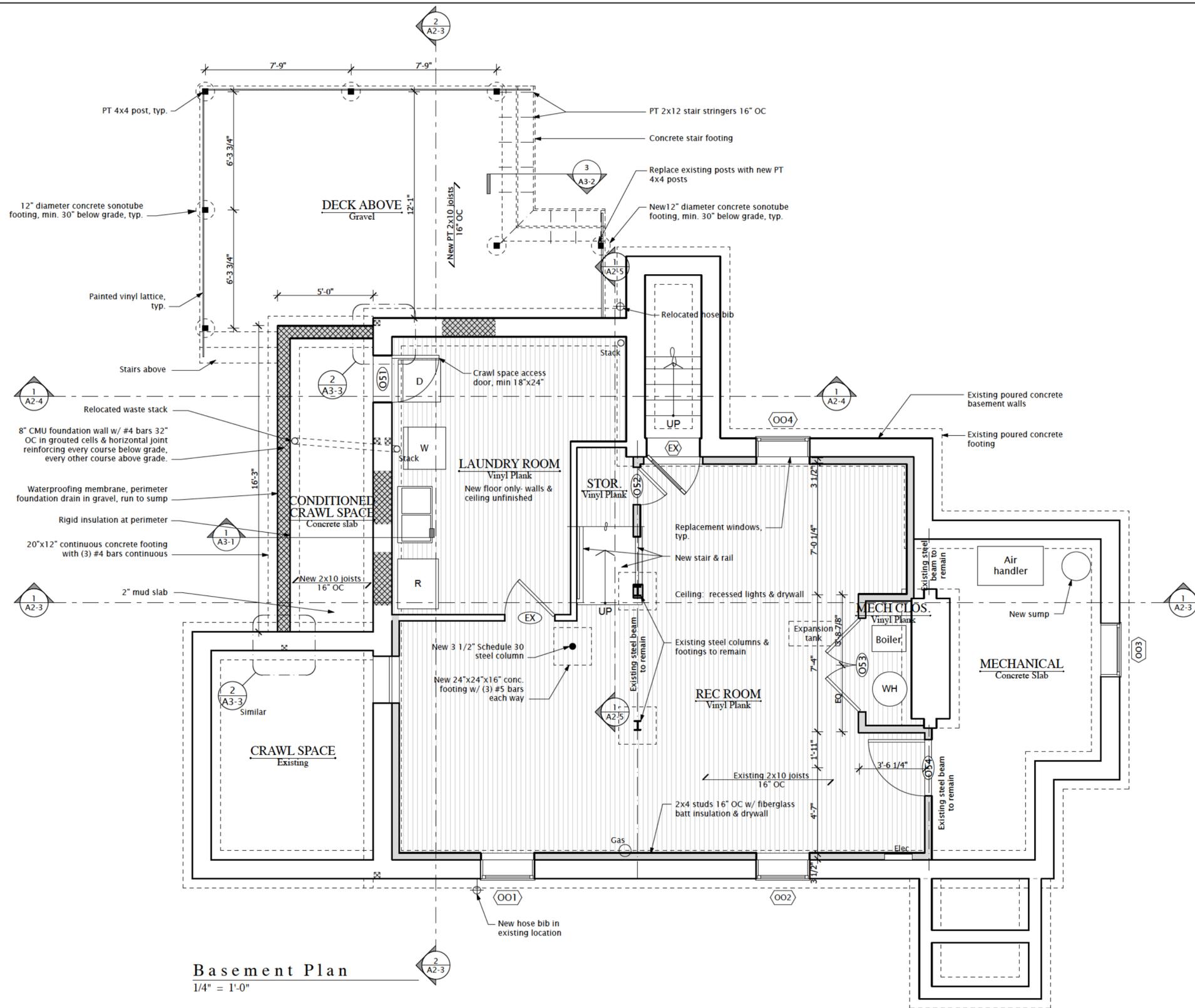
**Construction
Set**

8 Jan 2020 Permit Set

11 Feb 2020 Permit Rev 1

Rear & Left
Demo Elevations

D4



Basement Plan
1/4" = 1'-0"

- FRAMING NOTES:**
- EXISTING WALLS ARE DIMENSIONED TO FACE OF INTERIOR DRYWALL & EXTERIOR FINISH MATERIAL.
 - NEW INTERIOR WALLS ARE DIMENSIONED TO FACE OF STUD.
 - NEW EXTERIOR WALLS ARE DIMENSIONED TO FACE OF PLYWOOD SHEATHING (EXTERIOR SIDE) AND FACE OF STUD (INTERIOR SIDE).
 - WINDOW & DOOR OPENINGS ARE DIMENSIONED TO THE CENTERLINE EXCEPT WHERE NOTED "MIN." IN WHICH CASE THEY ARE TO BE HELD MIN. DISTANCE FROM CORNER FOR CASING TO COMPLETE.
 - STEEL COLUMNS & BEAMS ARE DIMENSIONED TO CENTERLINE.

WALL KEY

	Existing wall
	New frame wall
	New CMU & brick wall

**Beckmann
Addition**

4305 Sheridan Street
University Park, MD
20782

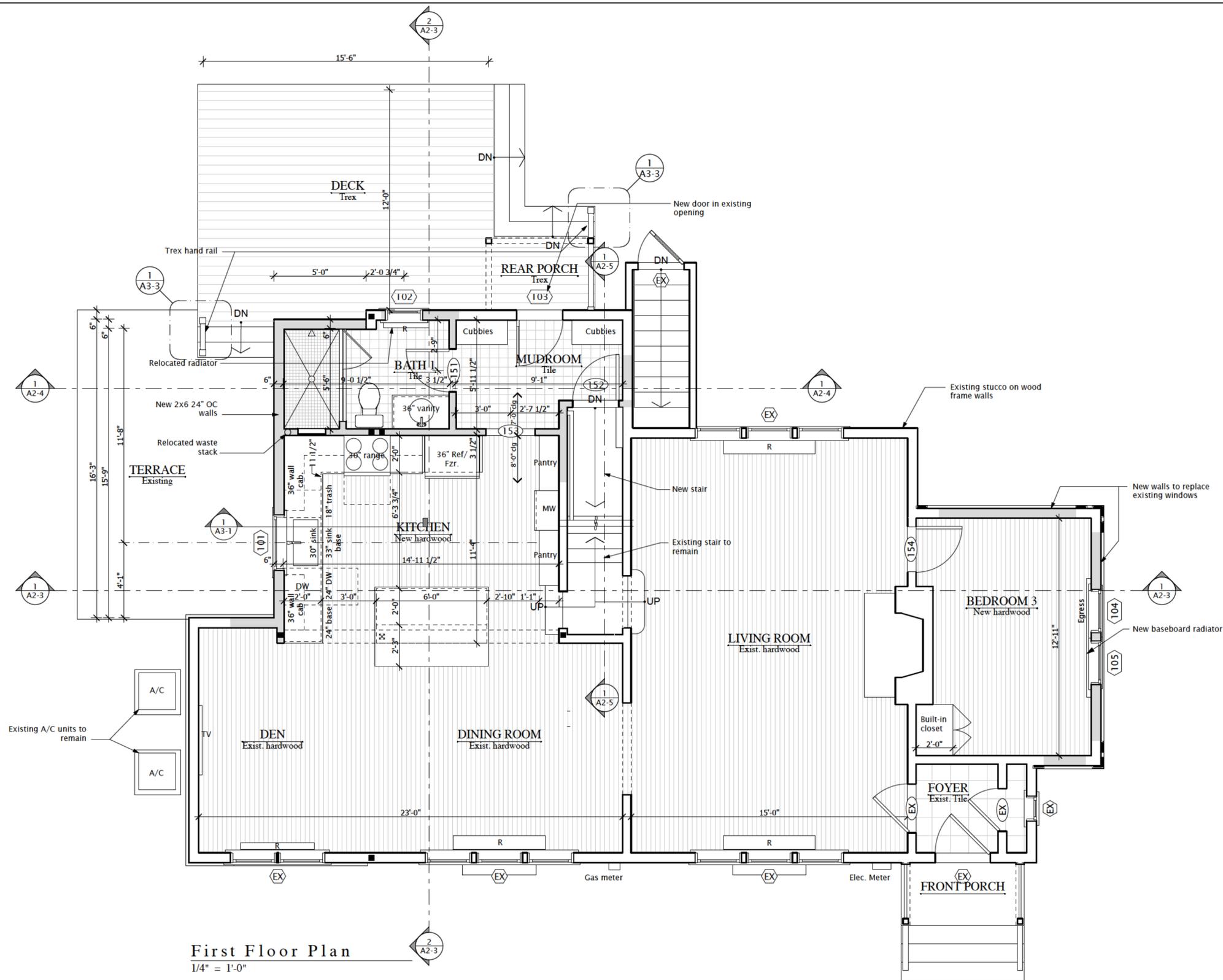
5 March 2020

**Construction
Set**

8 Jan 2020	Permit Set
11 Feb 2020	Permit Rev 1

Basement Plan

A1-0



First Floor Plan
1/4" = 1'-0"

- FRAMING NOTES:**
- EXISTING WALLS ARE DIMENSIONED TO FACE OF INTERIOR DRYWALL & EXTERIOR FINISH MATERIAL.
 - NEW INTERIOR WALLS ARE DIMENSIONED TO FACE OF STUD.
 - NEW EXTERIOR WALLS ARE DIMENSIONED TO FACE OF PLYWOOD SHEATHING (EXTERIOR SIDE) AND FACE OF STUD (INTERIOR SIDE).
 - WINDOW & DOOR OPENINGS ARE DIMENSIONED TO THE CENTERLINE EXCEPT WHERE NOTED "MIN." IN WHICH CASE THEY ARE TO BE HELD MIN. DISTANCE FROM CORNER FOR CASING TO COMPLETE.
 - STEEL COLUMNS & BEAMS ARE DIMENSIONED TO CENTERLINE.

WALL KEY

	Existing wall
	New frame wall
	New CMU & brick wall

Beckmann Addition

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University Park, MD
20782

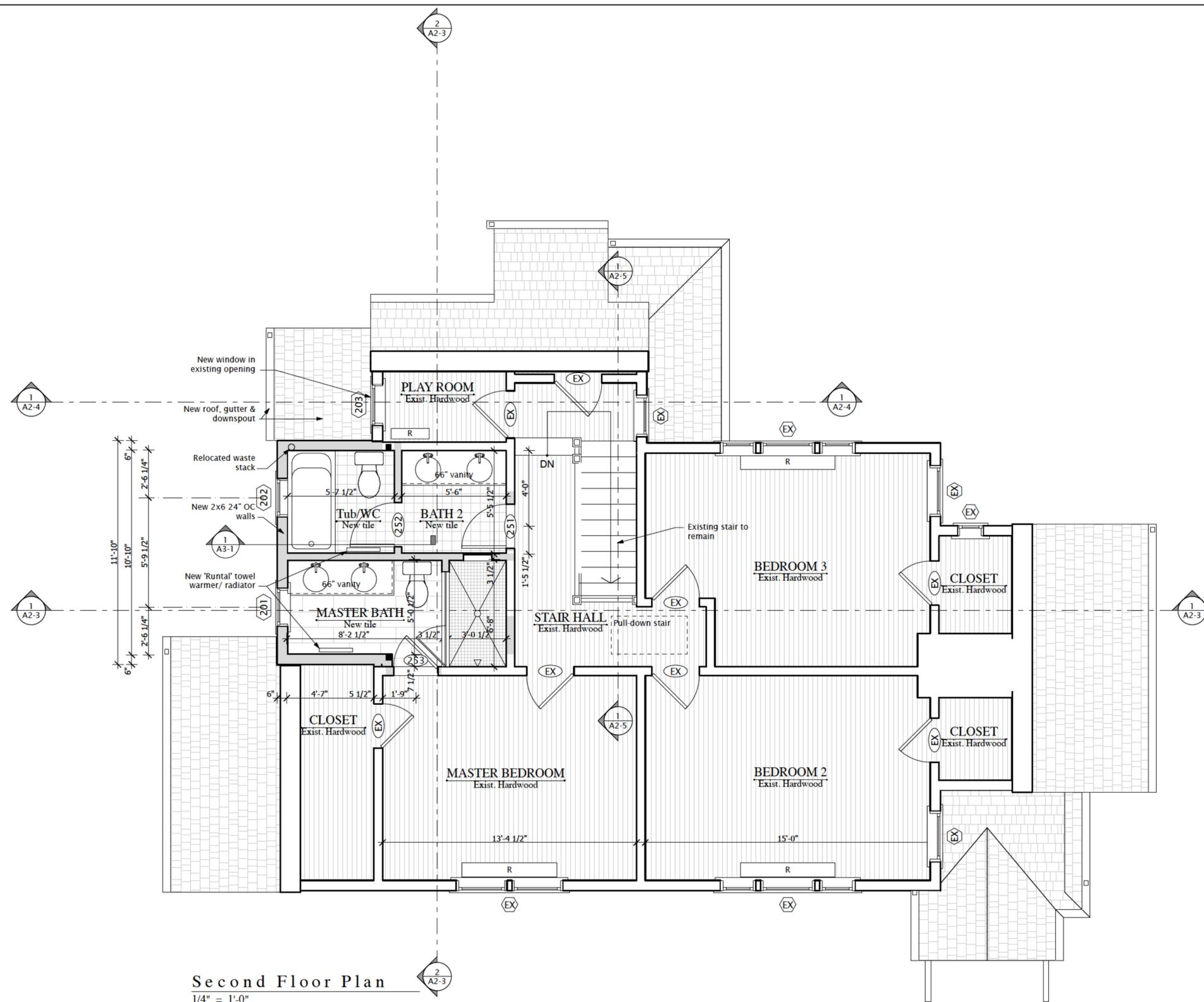
5 March 2020

Construction Set

8 Jan 2020	Permit Set
11 Feb 2020	Permit Rev 1

1st Floor Plan

A1-1



**Beckmann
Addition**

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University Park, MD
20782

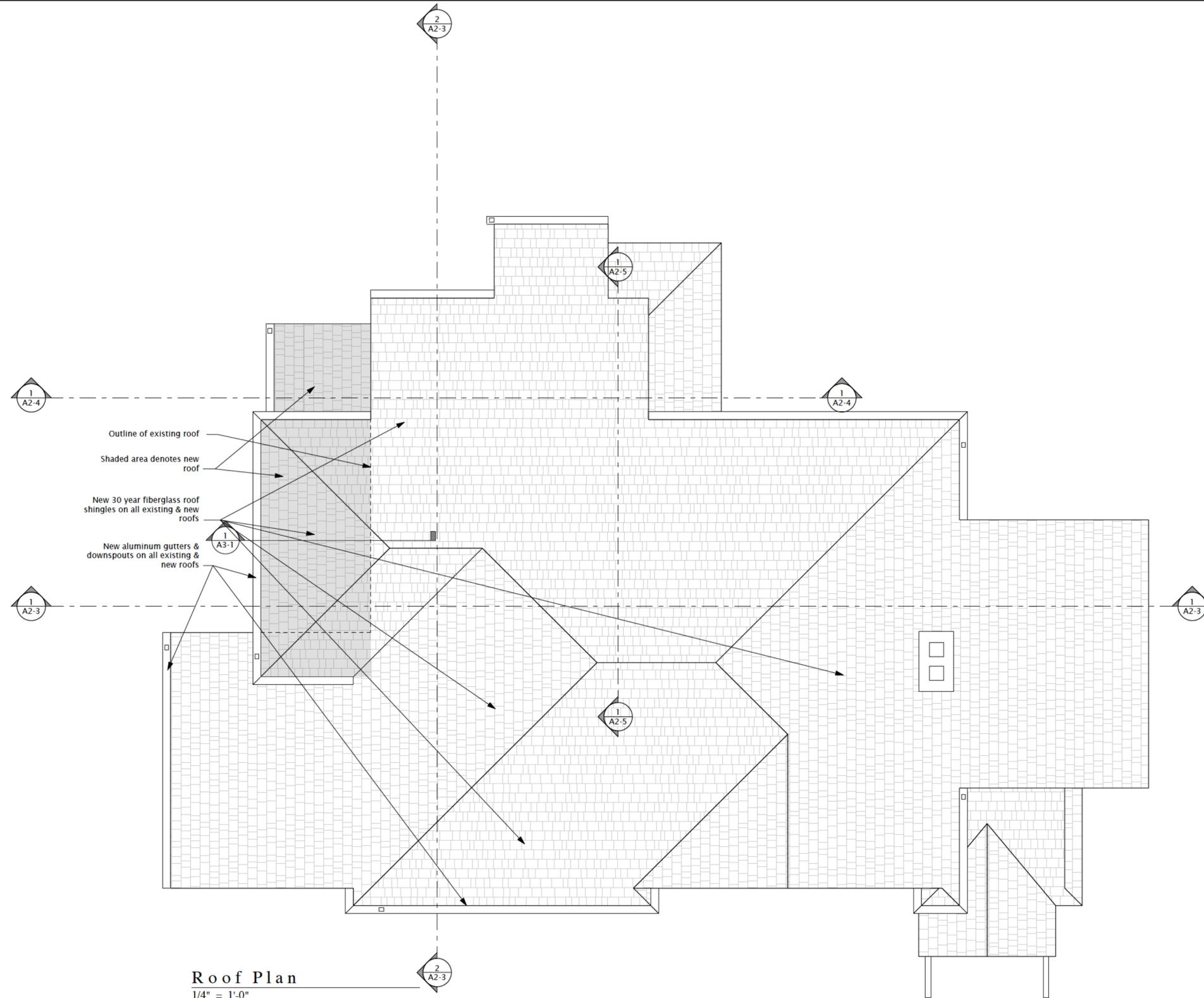
5 March 2020

**Construction
Set**

8 Jan 2020	Permit Set
11 Feb 2020	Permit Rev 1

2nd Floor Plan

A1-2



Roof Plan
1/4" = 1'-0"

**Beckmann
Addition**

4305 Sheridan Street
University Park, MD
20782

5 March 2020

**Construction
Set**

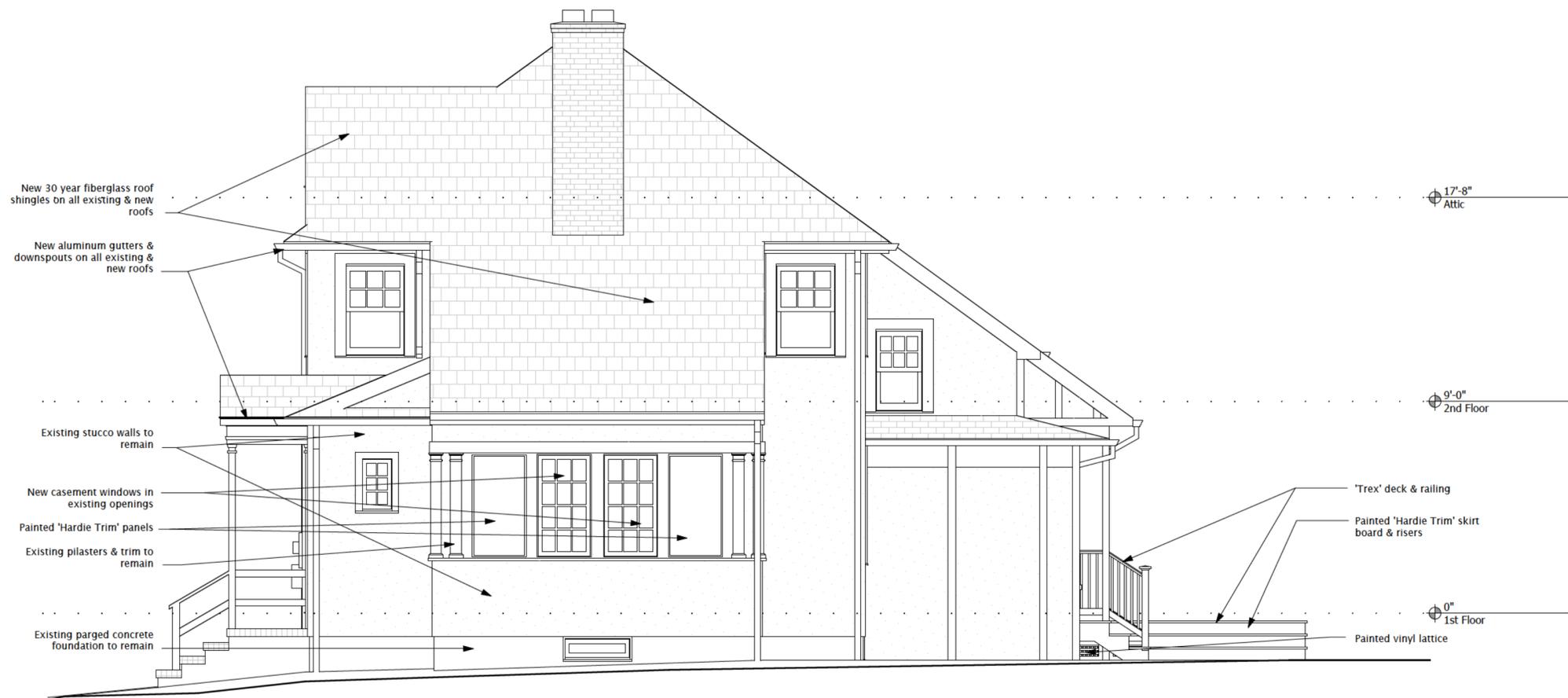
8 Jan 2020	Permit Set
11 Feb 2020	Permit Rev 1

Roof Plan

A1-3



1 Front Elevation
1/4" = 1'-0"



2 Right Elevation
1/4" = 1'-0"

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Addition**

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University Park, MD
20782

5 March 2020

**Construction
Set**

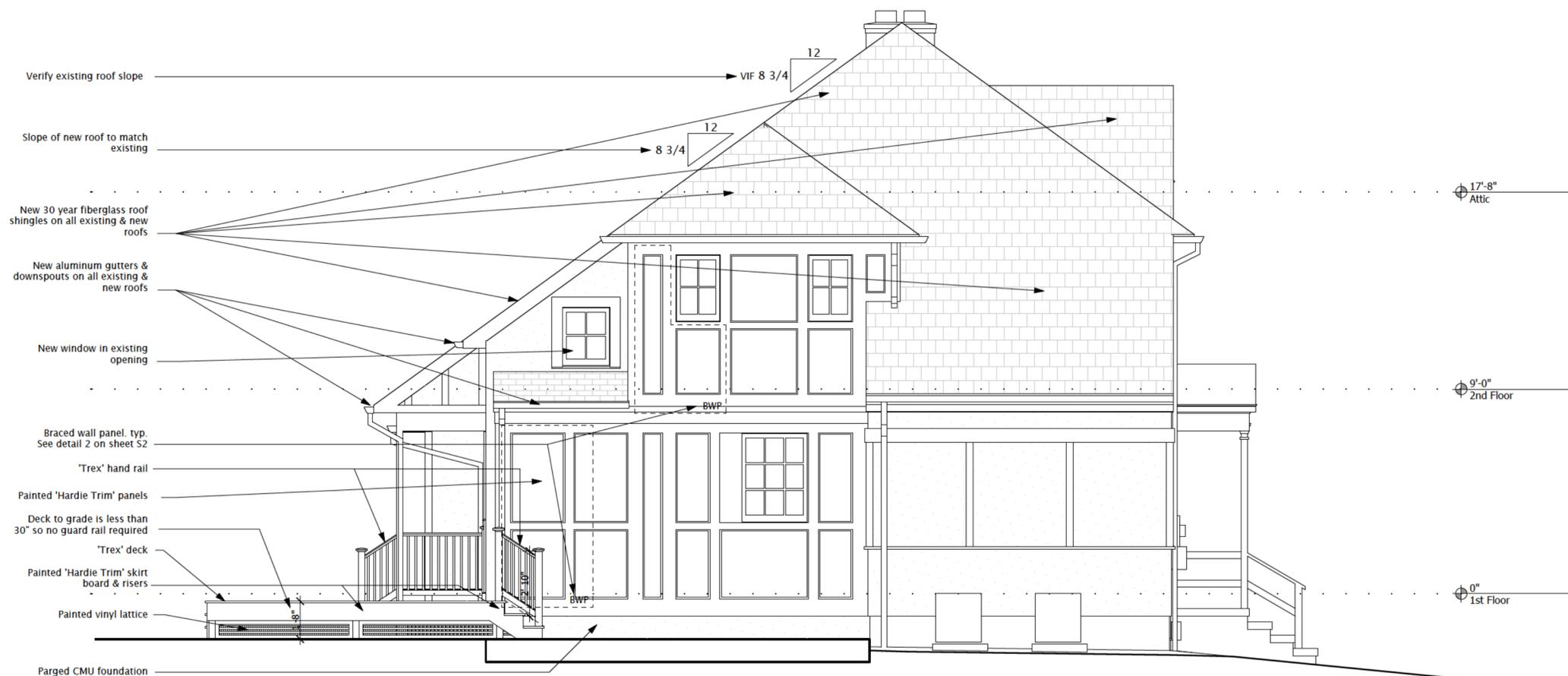
8 Jan 2020	Permit Set
11 Feb 2020	Permit Rev 1

Front & Right
Elevations

A2-1



1 Rear Elevation
1/4" = 1'-0"



2 Left Elevation
1/4" = 1'-0"

**Beckmann
Addition**

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University Park, MD
20782

5 March 2020

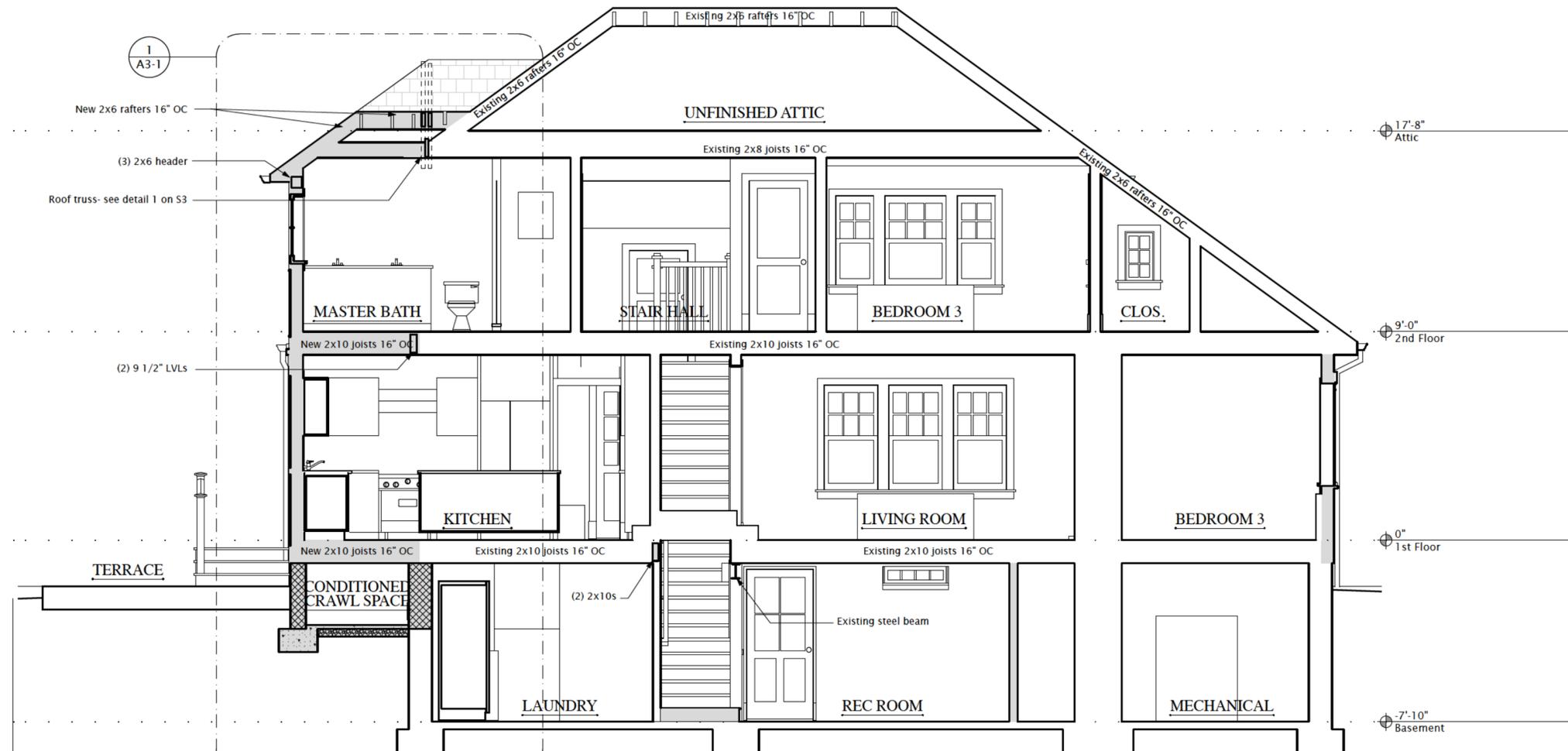
**Construction
Set**

8 Jan 2020 Permit Set

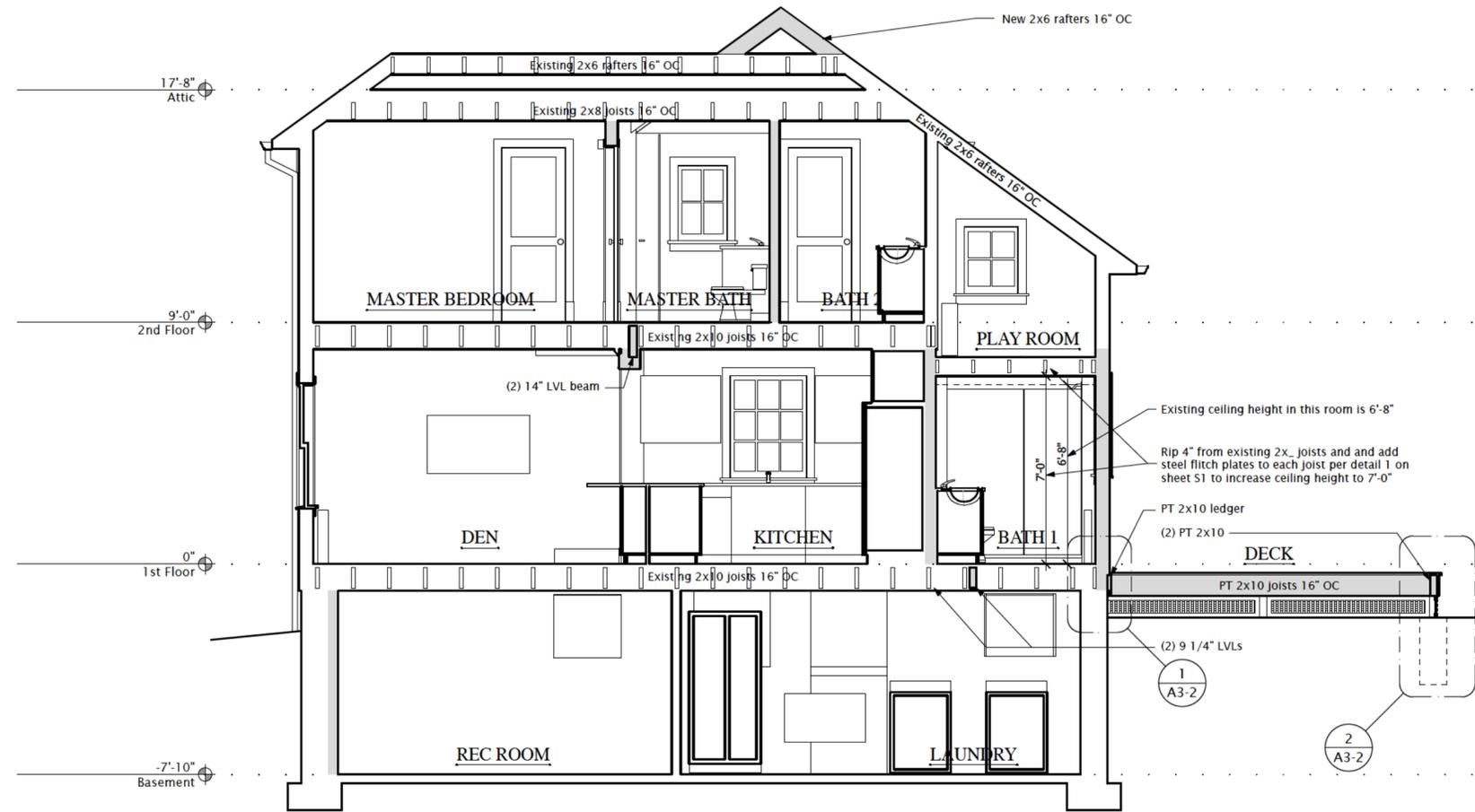
11 Feb 2020 Permit Rev 1

Rear & Left
Elevations

A2-2



1 Building Section 1
1/4" = 1'-0"



2 Building Section 2
1/4" = 1'-0"

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20782

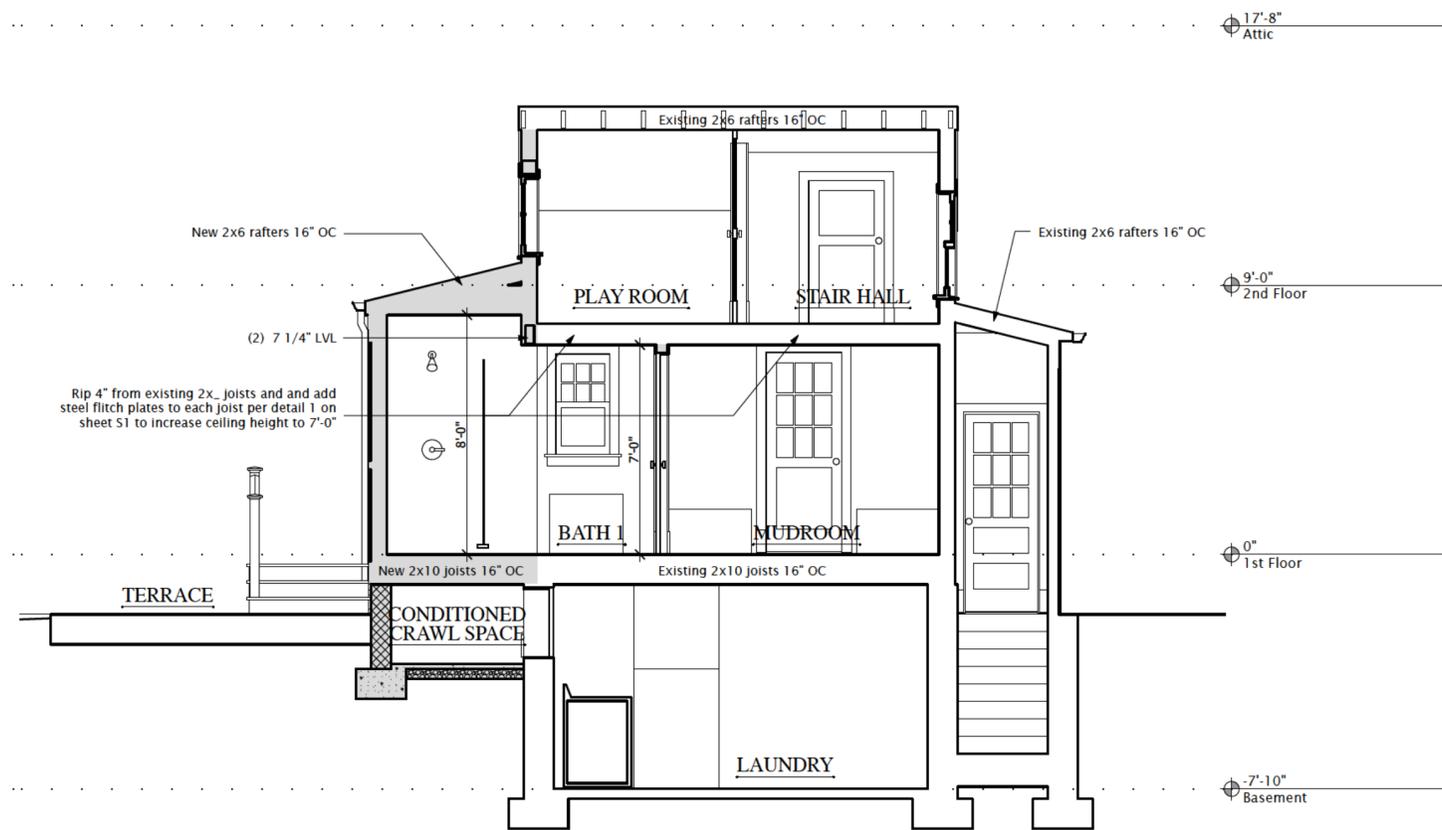
5 March 2020

**Construction
Set**

8 Jan 2020	Permit Set
11 Feb 2020	Permit Rev 1

Building Sections

A2-3



1 Building Section 3
1/4" = 1'-0"

**Beckmann
Addition**

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20782

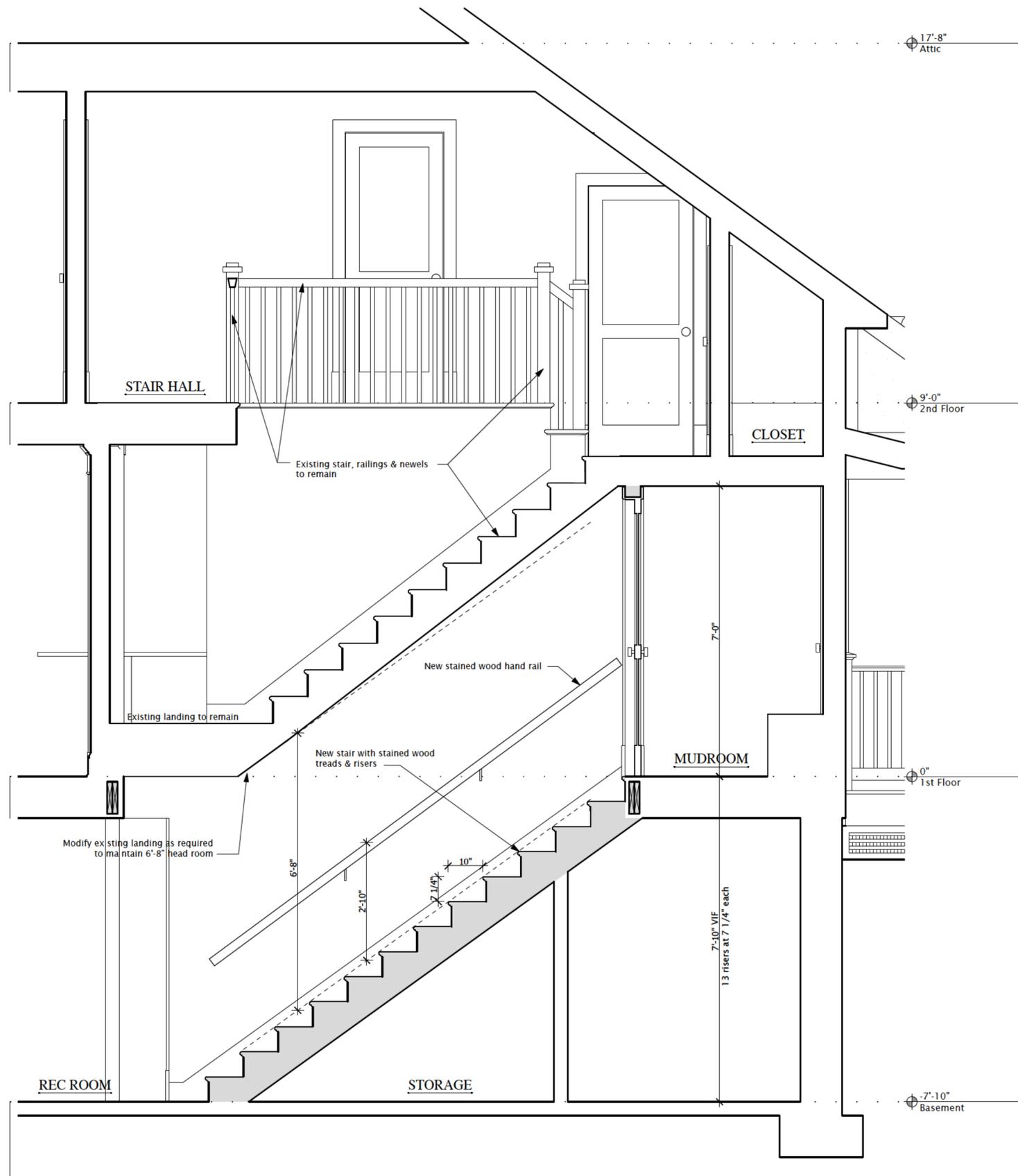
5 March 2020

**Construction
Set**

8 Jan 2020	Permit Set
11 Feb 2020	Permit Rev 1

Building Sections

A2-4



1 Stair Section
1/2" = 1'-0"

**Beckmann
Addition**

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University Park, MD
20782

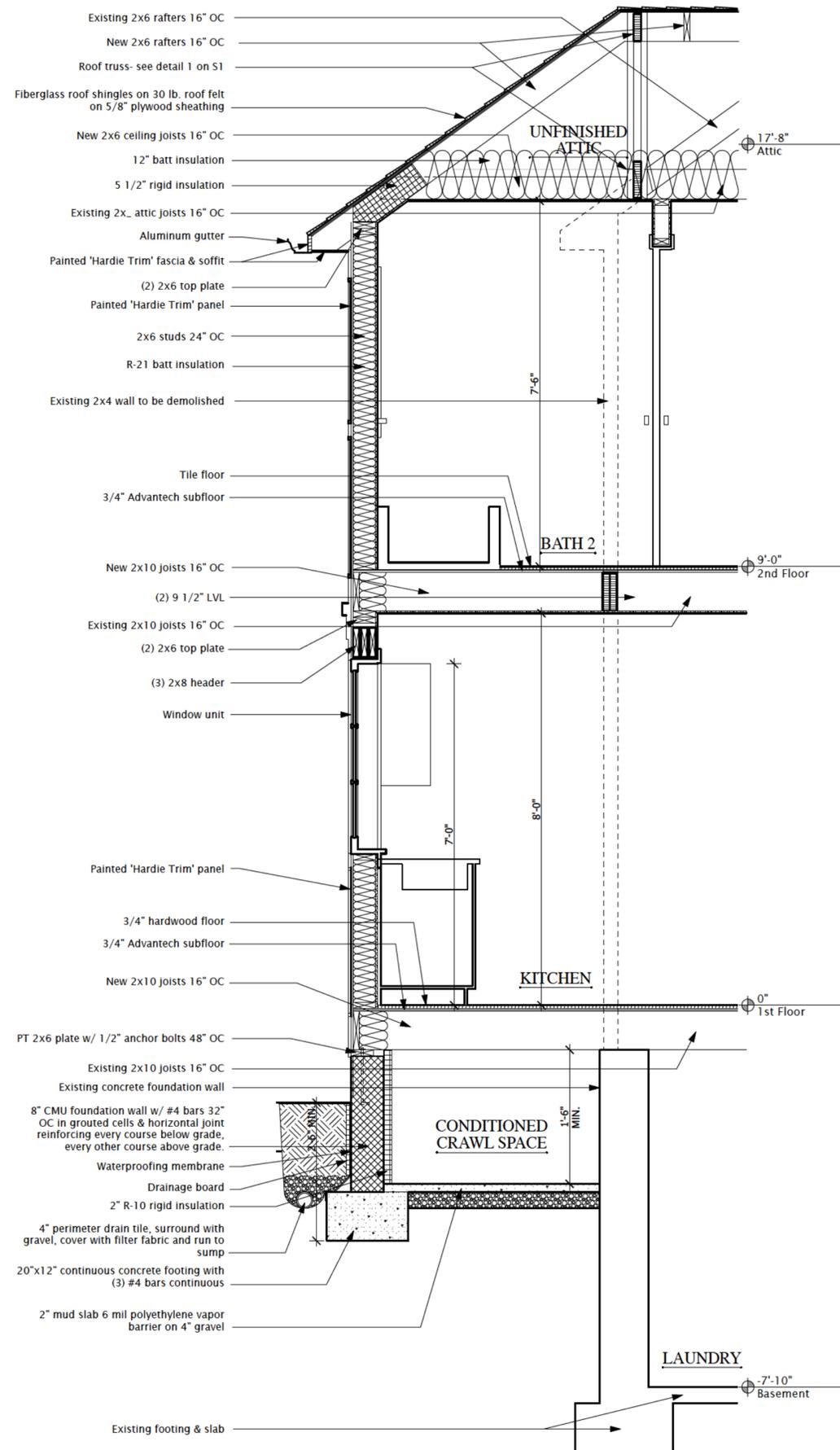
5 March 2020

**Construction
Set**

8 Jan 2020	Permit Set
11 Feb 2020	Permit Rev 1

Stair Section

A2-5



1 Wall Section 1
 1/2" = 1'-0"

**Beckmann
Addition**

4305 Sheridan Street
University Park, MD
20782

5 March 2020

**Construction
Set**

8 Jan 2020 Permit Set
 11 Feb 2020 Permit Rev 1

Wall Sections

A3-1

**Beckmann
Addition**

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University Park, MD
20782

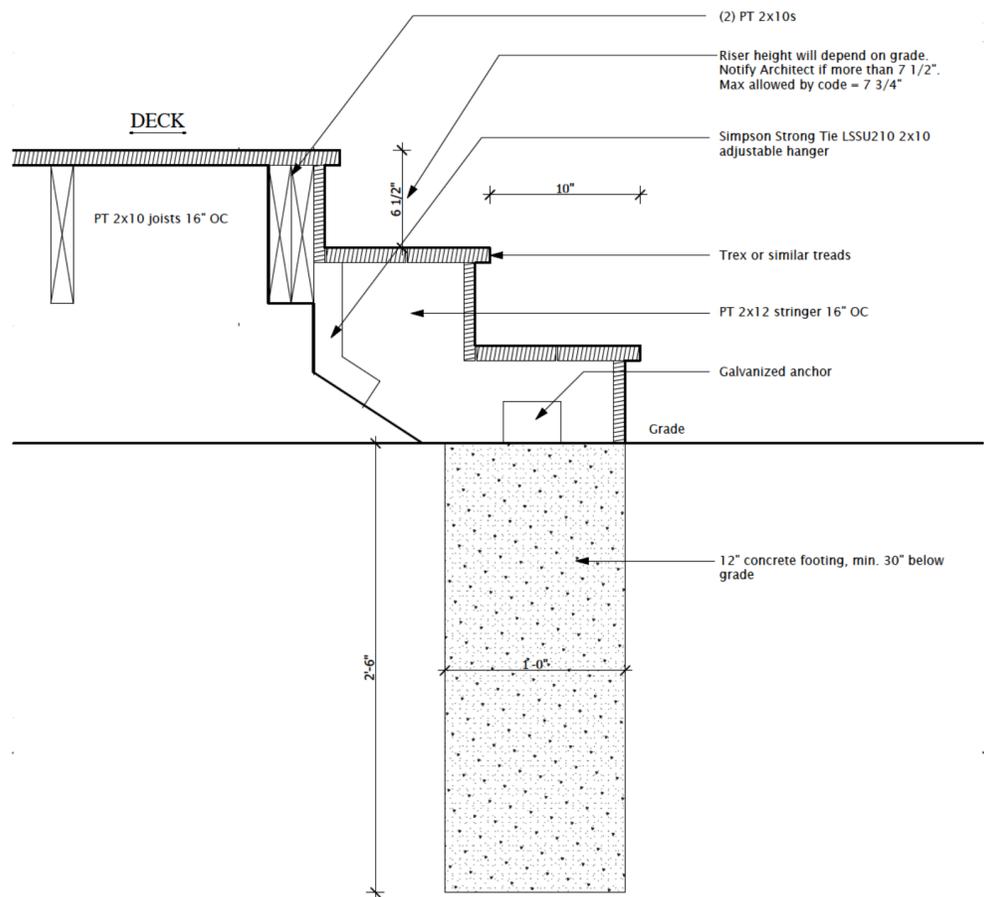
5 March 2020

**Construction
Set**

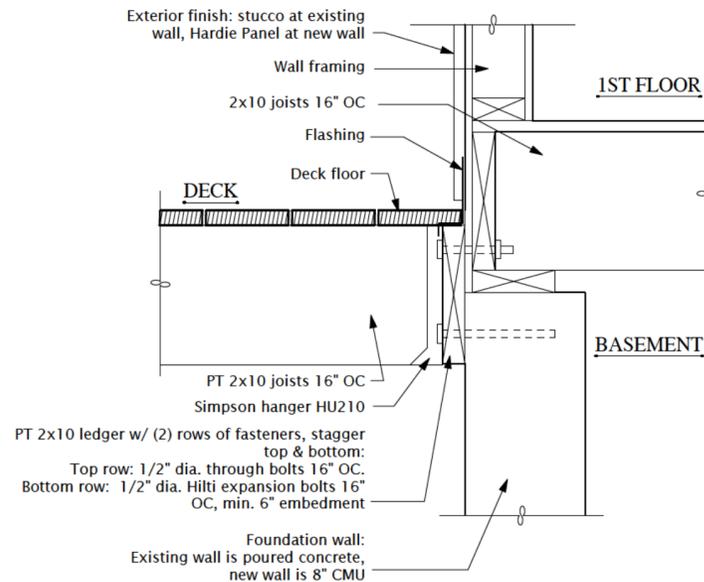
8 Jan 2020	Permit Set
11 Feb 2020	Permit Rev 1

Construction
Details

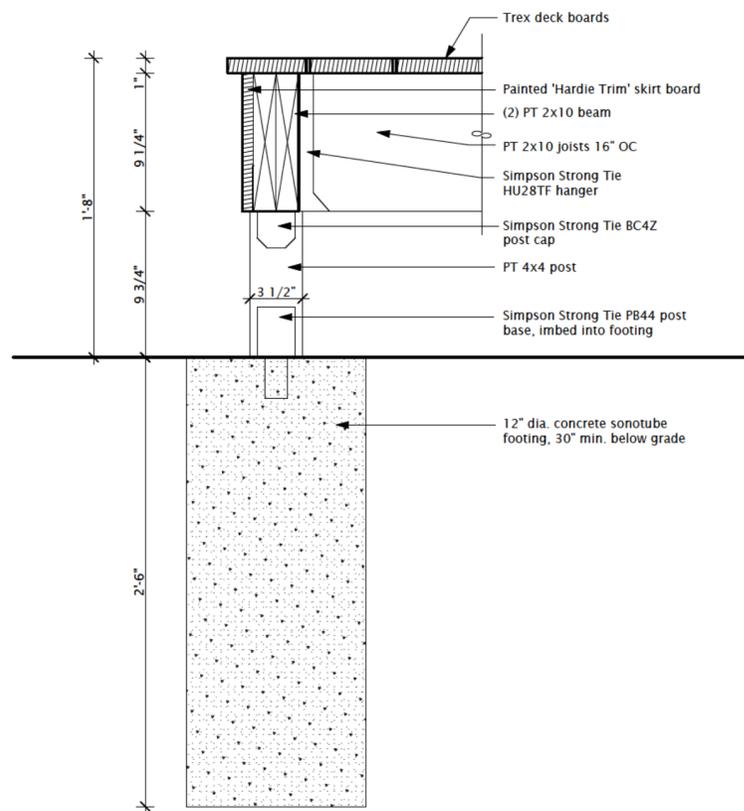
A3-2



3 Deck Stair Detail
1 1/2" = 1'-0"



1 Deck Ledger Detail
1 1/2" = 1'-0"



2 Deck Footing Detail
1 1/2" = 1'-0"

Beckmann
Addition

4305 Sheridan Street
University Park, MD
20782

5 March 2020

Construction
Set

8 Jan 2020 Permit Set

11 Feb 2020 Permit Rev 1

Construction
Details

A3-3

LOCATION AND INSTALLATION OF SURFACE MOUNT POST - DECKING

IMPORTANT NOTES:

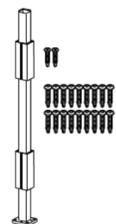
- » EACH POST MUST BE ATTACHED AS SHOWN TO ENSURE A CODE COMPLIANT AND SAFE INSTALLATION.
- » ALWAYS REFER TO YOUR LOCAL BUILDING CODE OFFICIAL PRIOR TO INSTALLING ANY RAILING SYSTEM TO ENSURE ALL CODE AND SAFETY REQUIREMENTS ARE MET. TREX CANNOT BE HELD RESPONSIBLE FOR IMPROPER OR NON-RECOMMENDED INSTALLATIONS.
- » WHEN INSTALLING TREX POST MOUNTS ON ACQ OR CCA SURFACES, USE AN APPROPRIATE ISOLATION BARRIER BETWEEN POST AND SURFACE (CONTACT LOCAL BUILDING CODE OFFICIAL IF NEEDED).
- » ENSURE THAT CORRECT SKU HARDWARE IS ORDERED FOR THE TYPE OF RAILING BEING INSTALLED.
- » CANNOT BE USED WITH TREX TRANSCEND COCKTAIL RAILING.
- » See page 58 for sku information.

TOOLS AND MATERIALS NEEDED

- » Drill and/or screw gun
- » 1/2" (1.3 cm) drill bit for wood
- » Blocking 2" x 8" (5.1 cm x 20.3 cm) pressure treated Southern Yellow Pine or equivalent
- » Qty: 36 (per post) 3" (7.6 cm) pressure treated compatible wood screws

PARTS

- » (1) Post mount
- » (2) Guide blocks
- » (18) #8 15 x 1 1/4" (3.2 cm) Screws
- » (2) 10 x 1" (2.5 cm) Self tapping screws



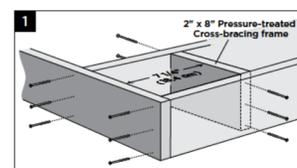
SKU ALPOSTHWDECK (this SKU SOLD SEPARATELY and must be used for code approved applications).

- » (4) 3/8" x 6" (1 cm x 15.2 cm) Hex cap bolts
- » (1) Back plate
- » (8) Flat washers
- » (4) Hex nuts

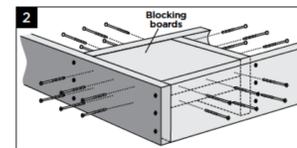


How to Install Post Mounts on Pressure-Treated Wood Framing

Corner Post Installation



1. Install 2" x 8" (5.1 cm x 20.3 cm) cross bracing frame in between joists at 7 1/4" (18.4 cm). Attach a total of twelve 3" (7.6 cm) pressure treated compatible screws (not provided).



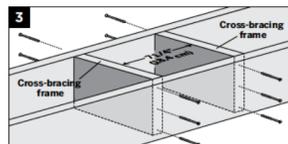
2. Install two 2" x 8" (5.1 cm x 20.3 cm) boards as blocking under post location. Securely attach blocking using a total of twenty four 3" (7.6 cm) pressure treated compatible screws (not provided).

NOTE: TO ENSURE THE BLOCKING IS FULLY SECURE, USE THE AMOUNT OF SCREWS INDICATED ABOVE.

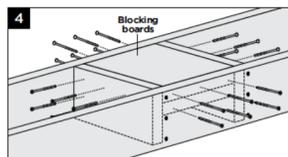
TIP: USE TWO ADDITIONAL SCREWS TO "SANDWICH" BLOCKING BOARDS TOGETHER FOR EASIER ATTACHMENT TO FRAMING.

LOCATION AND INSTALLATION OF SURFACE MOUNT POST - DECKING/ CONTINUED

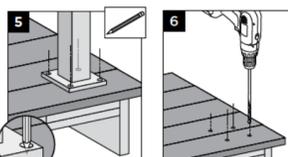
Line Post Installation



3. Install two 2" x 8" (5.1 cm x 20.3 cm) cross bracing frames in between joists at 7 1/4" (18.4 cm). Attach a total of twelve 3" (7.6 cm) pressure treated compatible screws (not provided).

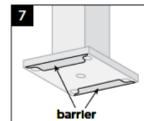


4. Install two 2" x 8" (5.1 cm x 20.3 cm) boards as blocking under post location. Securely attach blocking using a total of twenty four 3" (7.6 cm) pressure treated compatible screws (not provided).

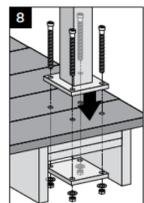


5. Using post a template, mark locations of holes.
6. Drill through decking and blocking boards using 5/8" diameter bit (long drill bit will be required).

7. Insert the (2) stainless steel barrier strips under the mounting bolt holes. BARRIER STRIPS ARE REQUIRED ONLY IF ATTACHING POST DIRECTLY TO PRESSURE TREATED FRAMING.



8. Attach posts using four 3/8" x 6" (1 cm x 15.2 cm) hex cap bolts, washers, and nuts, along with aluminum back plate on underside of blocking. If the project requires IRC compliance, this back plate MUST be installed under the decking to ensure this will meet code compliance. Reference SKU part number ALPOSTHWDECK for required hardware and aluminum plate. (Consult local code official for more information on IRC Compliance.)

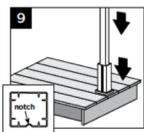


- NOTES:
- » Use composite shims or similar material (not provided) if posts are not plumb. Ensure that post is placed on decking surface so that it clears the rim joist and there is enough clearance on the underside blocking for the back plate to be installed.
 - » Rim joist removed to show proper attachment of hardware.

Install Guide Blocks

NOTE: Pre drilling is not required but is optional for attachment of guide blocks to post. Use a drill bit slightly smaller in size than that of screw being installed.

9. Place or rest bottom aluminum guide block on bottom of post. Place guide on post so that notch is on a side that does not require railing to be attached.



LOCATION AND INSTALLATION OF SURFACE MOUNT POST - DECKING/ CONTINUED

Install Railing System of Choice

- NOTES:
- » Quantity of 18 #8 15 x 1 1/4" screws are provided to cover all types of Trex railing bracket installations (Transcend, Trex Signature, and Select). Thus, depending on the type railing being installed, you may have screws that are not used.
 - » If using 6x6 post sleeves, attach designated railing brackets using #8 15 x 1 3/4" (4.4 cm) 316 stainless steel screws (not provided).
 - » Pre-drilling IS REQUIRED when attaching brackets to designated posts. Use a 9/64" (3.6 mm) drill bit to pre-drill at specified locations according to instructions provided with railing kits.

10. Attach bottom guide block using one 10 x 1" self tapping screw (provided) in notch to lock guide block onto post.

11. Location of top guide block will vary slightly based on type and height of railing being installed. Determine this measurement and place top guide block in location where top bracket for desired railing would be approximately on center of the top railing bracket location.
12. Attach top guide block using one 10 x 1" self tapping screw (provided) in notch to lock guide block onto post.

- NOTE: If installing Trex Deck Lighting on the posts, drill hole through support blocks to allow wiring for lights to be below the surface of the decking.

-
-

HOW TO INSTALL DECKING

HOW TO INSTALL DECKING

HOW TO INSTALL DECKING

44

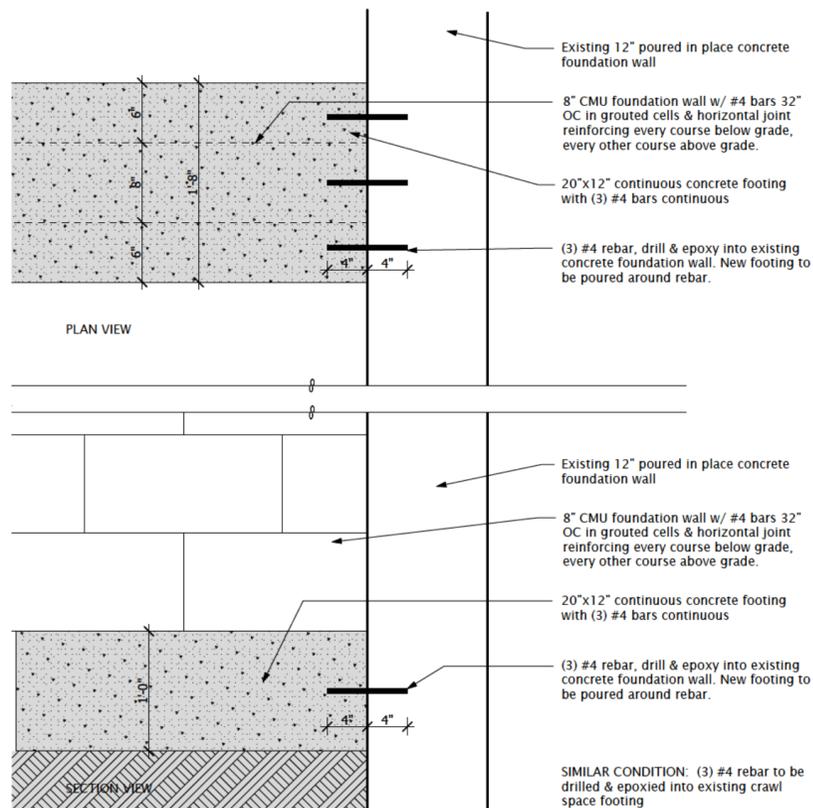
NOTE: Construction methods are always improving. Please refer to www.trex.com for the most up-to-date installation requirements.

45

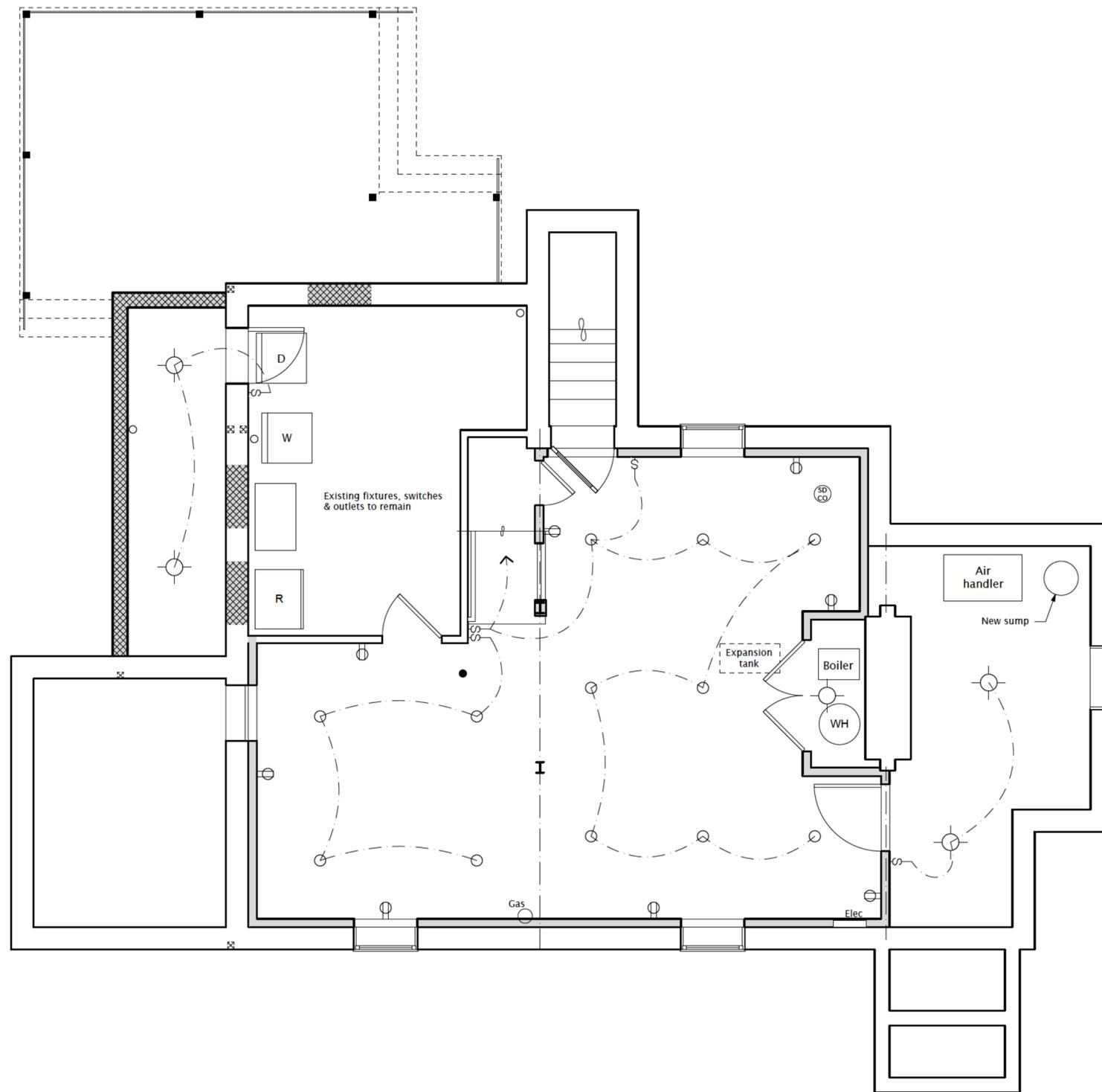
46

NOTE: Construction methods are always improving. Please refer to www.trex.com for the most up-to-date installation requirements.

1 Trex railing detail



2 Footing detail
1" = 1'-0"



SMOKE DETECTOR: 
THIS SYMBOL DENOTES COMBINATION SMOKE/ CARBON MONOXIDE DETECTOR. ALL DETECTORS TO BE HARD-WIRED TO DEDICATED CIRCUIT, INTERCONNECTED & PROVIDED WITH BATTERY BACKUP. PROVIDE ONE DETECTOR INSIDE EACH BEDROOM, ONE OUTSIDE BEDROOMS AND ONE PER FLOOR AS SHOWN.

Electrical Symbols

	SURFACE LIGHT FIXTURE
	WALL LIGHT FIXTURE (SCONCE)
	RECESSED LIGHT FIXTURE
	WALL-WASH/ADJUSTABLE RECESSED FIXTURE
	ACCENT RECESSED FIXTURE
	WATERPROOF RECESSED FIXTURE
	WALL/FLOOR RECESSED FIXTURE
	BATH FAN
	SMOKE DETECTOR
	FAN-LIGHT FIXTURE
	LIGHTING TRACK (LENGTH)
	LOW-VOLTAGE LIGHTING
	TELEPHONE JACK
	CABLE JACK
	ETHERNET JACK
	WALL RECEPTACLE, DUPLEX/QUAD/220
	FLOOR RECEPTACLE, DUPLEX/QUAD
	GFCI RECEPTACLE
	SWITCH, DIMMER SWITCH
	FLOOD LIGHT
	SWITCH PATH
	CEILING FAN

Basement Electrical Plan

1/4" = 1'-0"

**Beckmann
Addition**

4305 Sheridan Street
University Park, MD
20782

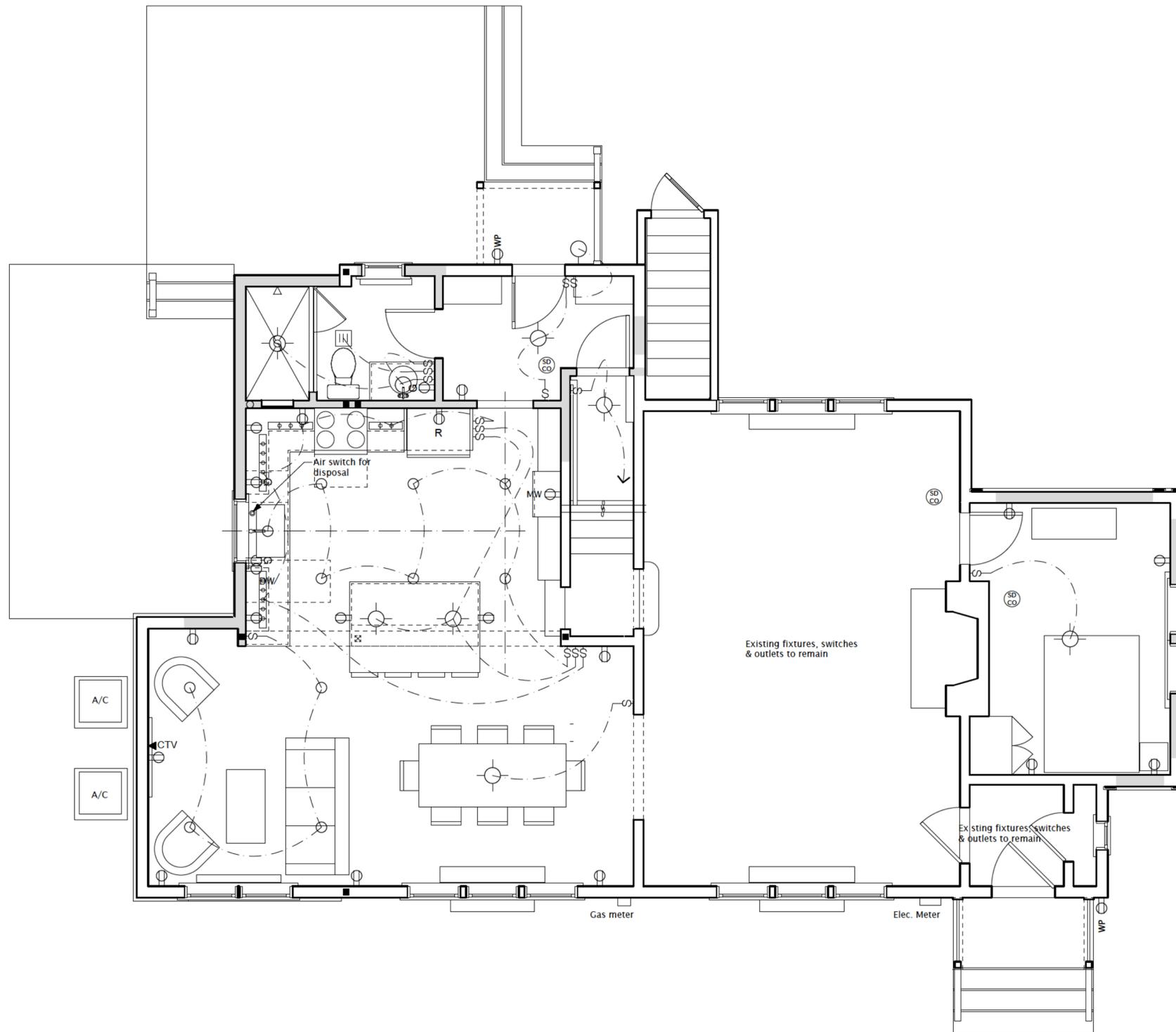
5 March 2020

**Construction
Set**

8 Jan 2020	Permit Set
11 Feb 2020	Permit Rev 1

Basement Elec
Plan

E0



First Floor Electrical Plan
1/4" = 1'-0"

SMOKE DETECTOR:  
THIS SYMBOL DENOTES COMBINATION SMOKE/ CARBON MONOXIDE DETECTOR. ALL DETECTORS TO BE HARD-WIRED TO DEDICATED CIRCUIT, INTERCONNECTED & PROVIDED WITH BATTERY BACKUP. PROVIDE ONE DETECTOR INSIDE EACH BEDROOM, ONE OUTSIDE BEDROOMS AND ONE PER FLOOR AS SHOWN.

Electrical Symbols

	SURFACE LIGHT FIXTURE
	WALL LIGHT FIXTURE (SCONCE)
	RECESSED LIGHT FIXTURE
	WALL-WASH/ADJUSTABLE RECESSED FIXTURE
	ACCENT RECESSED FIXTURE
	WATERPROOF RECESSED FIXTURE
	WALL/FLOOR RECESSED FIXTURE
	BATH FAN
	SMOKE DETECTOR
	FAN-LIGHT FIXTURE
	LIGHTING TRACK (LENGTH)
	LOW-VOLTAGE LIGHTING
	TELEPHONE JACK
	CABLE JACK
	ETHERNET JACK
	WALL RECEPTACLE, DUPLEX/QUAD/220
	FLOOR RECEPTACLE, DUPLEX/QUAD
	GFCI RECEPTACLE
	SWITCH, DIMMER SWITCH
	FLOOD LIGHT
	SWITCH PATH
	CEILING FAN

Beckmann
Addition

4305 Sheridan Street
University Park, MD
20782

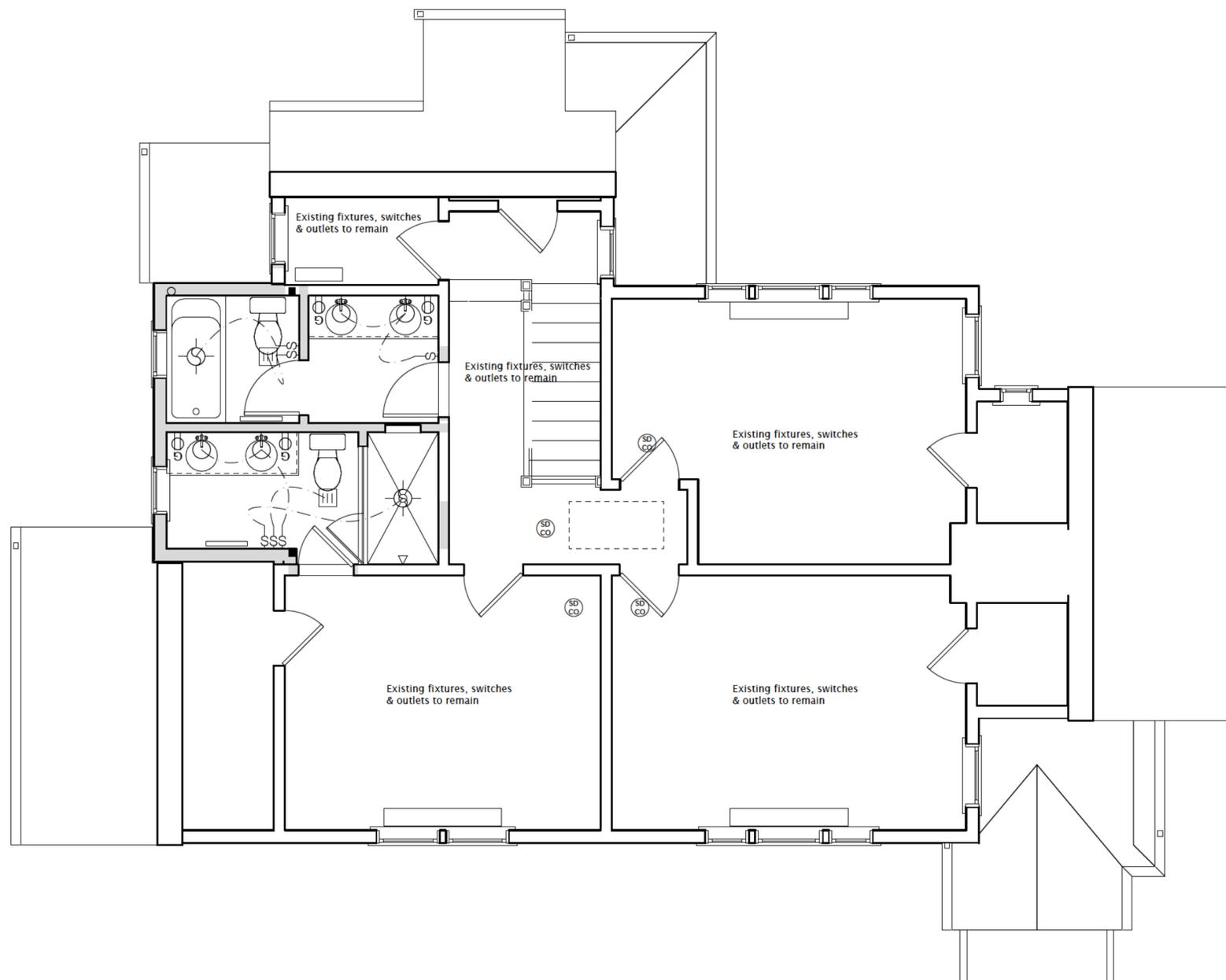
5 March 2020

Construction
Set

8 Jan 2020 Permit Set
11 Feb 2020 Permit Rev 1

1st Floor Elec
Plan

E1



Second Floor Electrical Plan

1/4" = 1'-0"

SMOKE DETECTOR: 
THIS SYMBOL DENOTES COMBINATION SMOKE/ CARBON MONOXIDE DETECTOR. ALL DETECTORS TO BE HARD-WIRED TO DEDICATED CIRCUIT, INTERCONNECTED & PROVIDED WITH BATTERY BACKUP. PROVIDE ONE DETECTOR INSIDE EACH BEDROOM, ONE OUTSIDE BEDROOMS AND ONE PER FLOOR AS SHOWN.

Electrical Symbols

	SURFACE LIGHT FIXTURE
	WALL LIGHT FIXTURE (SCONCE)
	RECESSED LIGHT FIXTURE
	WALL-WASH/ADJUSTABLE RECESSED FIXTURE
	ACCENT RECESSED FIXTURE
	WATERPROOF RECESSED FIXTURE
	WALL/FLOOR RECESSED FIXTURE
	BATH FAN
	SMOKE DETECTOR
	FAN-LIGHT FIXTURE
	LIGHTING TRACK (LENGTH)
	LOW-VOLTAGE LIGHTING
	TELEPHONE JACK
	CABLE JACK
	ETHERNET JACK
	WALL RECEPTACLE, DUPLEX/QUAD/220
	FLOOR RECEPTACLE, DUPLEX/QUAD
	GFCI RECEPTACLE
	SWITCH, DIMMER SWITCH
	FLOOD LIGHT
	SWITCH PATH
	CEILING FAN

Beckmann
Addition

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University Park, MD
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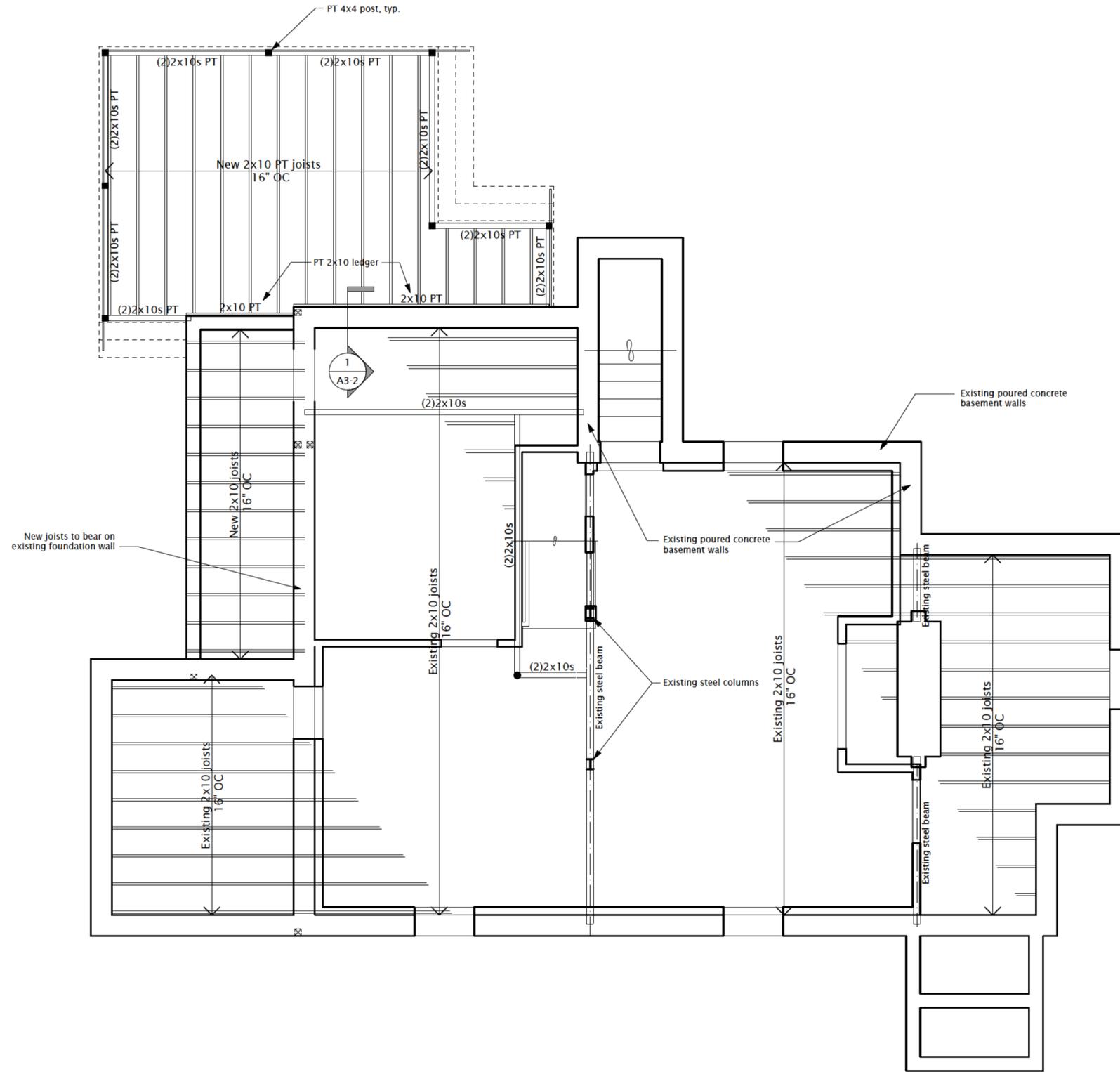
5 March 2020

Construction
Set

8 Jan 2020	Permit Set
11 Feb 2020	Permit Rev 1

2nd Floor Elec
Plan

E2



First Floor Framing
1/4" = 1'-0"

**Beckmann
Addition**

4305 Sheridan Street
University Park, MD
20782

5 March 2020

**Construction
Set**

8 Jan 2020	Permit Set
11 Feb 2020	Permit Rev 1

1st Floor
Framing Plan

SO

**Beckmann
Addition**

4305 Sheridan Street
University Park, MD
20782

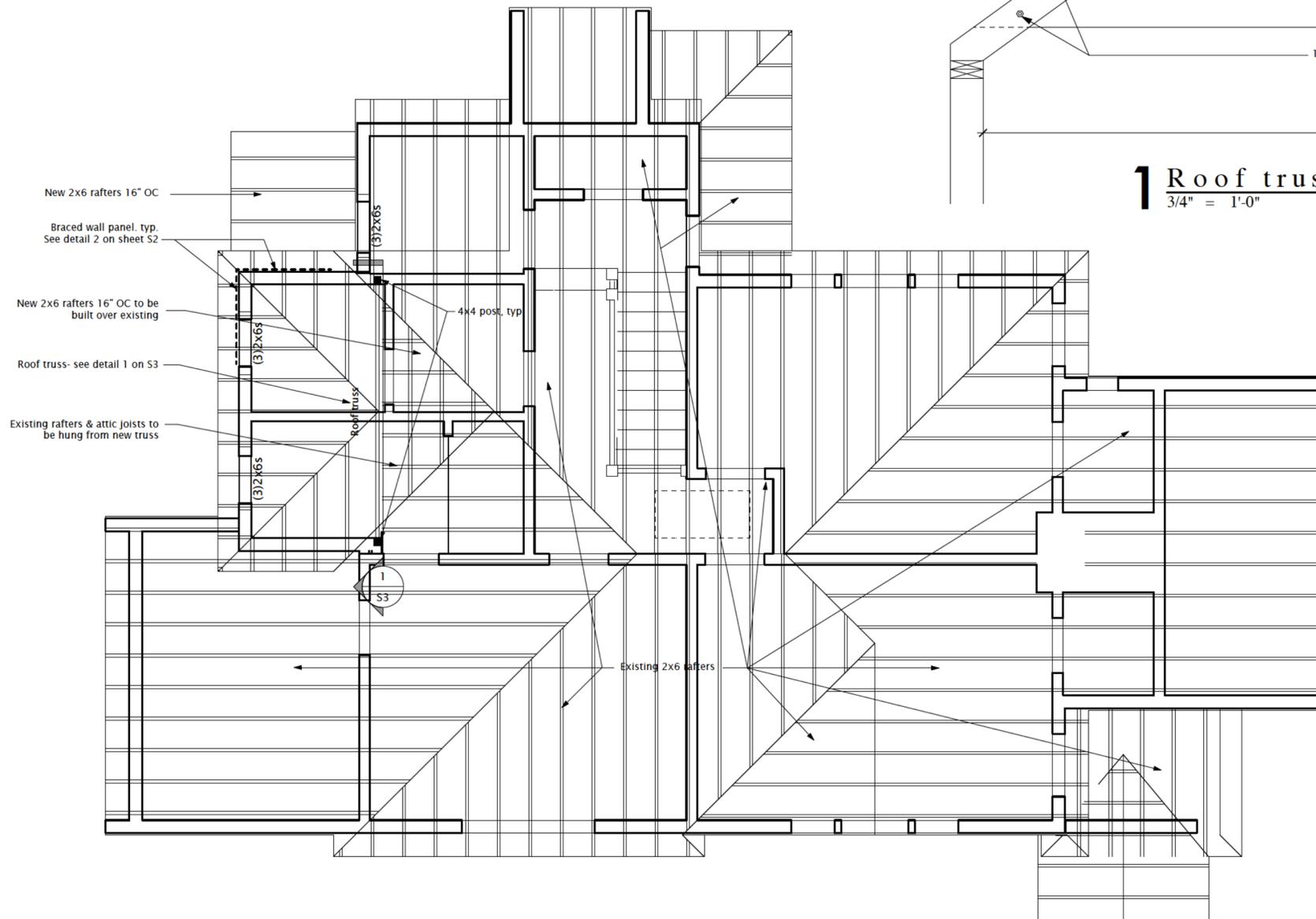
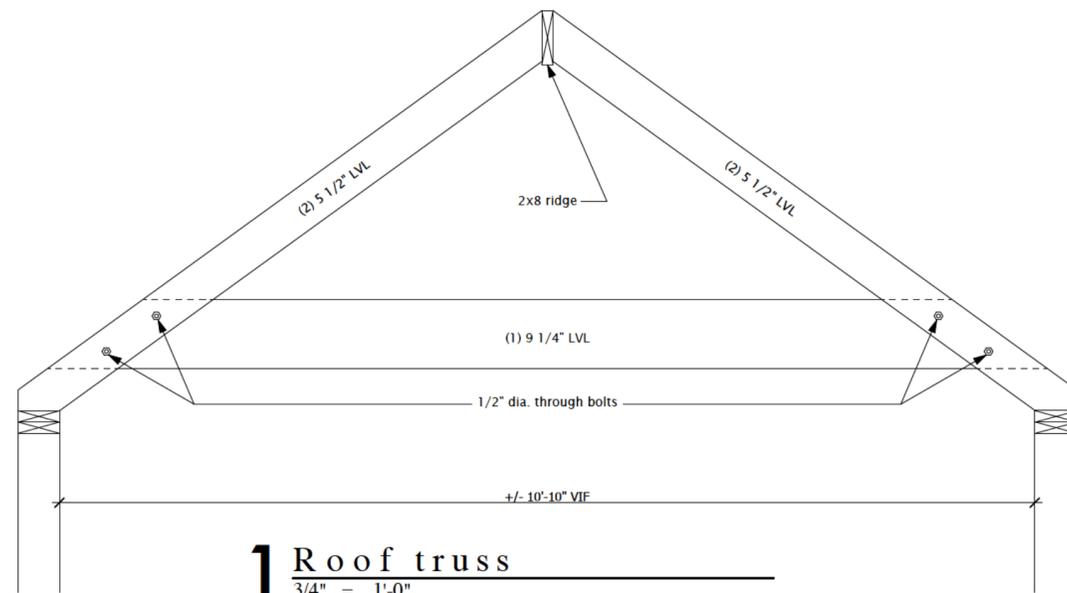
5 March 2020

**Construction
Set**

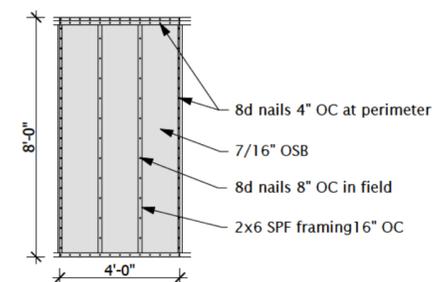
8 Jan 2020	Permit Set
11 Feb 2020	Permit Rev 1

Roof Framing
Plan

S2



Roof Framing
1/4" = 1'-0"



TYPICAL BRACED WALL PANEL

THE METHOD OF WALL BRACING USED,
REFERENCE R602.10.4 IS CS-SFB

2 Braced wall panel
1/4" = 1'-0"

Agenda Item 8
Draft 3/2/2020 Council Minutes



**MEETING OF
UNIVERSITY PARK MAYOR AND COMMON COUNCIL**

**UNIVERSITY PARK ELEMENTARY SCHOOL
4315 UNDERWOOD STREET**

7:30 p.m.

March 2, 2020

MINUTES

1. CALL TO ORDER: *Mayor Carey* at 7:30 p.m.

Present: Mr. Brosch, Mr. Schultz, Ms. Morrissey, Ms. Verrill, Mr. Caskey, Ms. Wells, Mr. Stephen

Absent: None

Excused: None

2. PLEDGE OF ALLEGIANCE was led by Mr. Brosch

3. APPROVAL OF THE AGENDA

Moved by: Ms. Verrill

Seconded by: Mr. Stephen

Yea: 7

Nay: 0

Abstain: 0

4. CONSENT AGENDA

Motion: To approve the following consent agenda items.

Moved by: Mr. Caskey

Seconded by: Ms. Wells

Yea: 7

Nay: 0

Abstain: 0

**A. BUILDING PERMIT APPLICATION TO RELOCATE EXISTING FENCE
(Larry and Jill Clements, 6914 Oakridge Road) Ward 5**

To relocate existing fence to the property line, located on Lot 12 & 13 and Block D at 6914 Oakridge Road.

**B. BUILDING PERMIT APPLICATION TO REPAIR/REPLACE FRONT WALKWAY
(Larry and Jill Clements, 6914 Oakridge Road) Ward 5**

To repair/replace front walkway and eliminate 1 step to front door located on Lot 12 & 13 and Block D at 6914 Oakridge Road.

5. PUBLIC COMMENT

- A resident asked the Council to reconsider their decision to not replace the Wells/Van Buren bridge. A lot of time and energy went into getting permits and the cost of installation is expensive but it will not get any cheaper. The bridge would improve the walkability in town and this resident reminded the Council that when the bridge was removed many years ago it was promised that it would be replaced.

6. CONTINUING BUSINESS

A. ADOPT LEGISLATIVE RESOLUTION 20-O-02: CHAPTER 2, ENACTING SECTION 2-114, WELCOMING TOWN (Second Reading)

Motion: To adopt Legislative Resolution 20-O-02 to amend Town Code, Chapter 2 by enacting section 2-114, “Welcoming Town” to regulate how US Citizenship status information is obtained, used and retained, and to make provision for Town benefits and services without regard to US citizenship status.

The earliest date this motion may be considered for passage is March 2, 2020.

Moved by: Ms. Verrill

Seconded by: Mr. Caskey

Yea: 7

Nay: 0

Abstain: 0

B. ADOPT LEGISLATIVE RESOLUTION 20-O-03: AMENDING CHAPTER 16, SECTION 16-104 ALLOWING REIMBURSEMENT TO INCLUDE UNDERSTORY TREES (Second Reading)

Motion: To adopt Legislative Resolution 20-O-03, on recommendation of the Trees, Parks and the Environment Committee, to amend Chapter 16 “Tree Maintenance”, Section 16-104, “Tree Replacement” of the Code of Ordinances of the Town of University Park to include understory trees, allowing reimbursement of up to \$100.00 toward the purchase price of any tree listed in the official Town understory tree list and planted on private property within the Town, not to exceed a total of three hundred dollars (\$300.00) per five years to any individual household or property.

The earliest date this motion may be considered for passage is March 2, 2020.

Moved by: Ms. Morrissey

Seconded by: Ms. Wells

Yea: 7

Nay: 0

Abstain: 0

C. ADOPT BUDGET ADJUSTMENTS – TRANSFER OF FUNDS (Second Reading)

Motion: To adopt budget adjustments for fiscal year 2020 as recommended by the Town Treasurer in the February 20, 2020 memo to the Mayor and Council in the total amount of \$66,100.00, as reflected below and to include the prior year’s surplus.

Increase in General Fund Revenues

Prior Years Surplus 262,369.00

Account Name

Transfer from:

Transfer to:

General Government

Payroll Taxes & Benefits 10,400.00

Insurance 2,200.00

Legal Advertisement 500.00

Town Hall/Lighting 5,700.00

Salaries		2,000.00
<u>Police</u>		
Payroll Taxes and Benefits	31,500.00	
Traffic Study Analysis	5,000.00	
Salaries		10,000.00
Medical Exams		5,000.00
Small Equipment		5,000.00
Training		3,000.00
Vehicle Maintenance		2,000.00
Police Car		11,500.00
<u>Public Works</u>		
Salaries	10,000.00	
Payroll Taxes & Benefits	9,200.00	
Uniforms		1,500.00
Composting		1,000.00
Work & Storage Space		1,700.00
Street Repairs		5,000.00
Vehicle Maintenance		10,000.00

The earliest this may be considered is at the March 2, 2020 Council meeting, as the total exceeds \$2,500.00.

Moved by: Ms. Verrill

Seconded by: Mr. Schultz

Yea: 7

Nay: 0

Abstain: 0

7. NEW BUSINESS

A. EXPAND COMPOST PROGRAM TO INCLUDE MEAT AND DAIRY

Motion: On recommendation of the Sustainability Committee, to expand the compost program to include meat and dairy waste in the list of acceptable food scraps, as the county will take such items into its composting facility and the Town recognizes the important environmental benefits by diverting this waste stream from the landfill.

Moved by: Mr. Schultz

Seconded by: Ms. Verrill

Yea: 7

Nay: 0

Abstain: 0

B. ARBOR DAY PROCLAMATION

Motion: To approve adopting a Town Arbor Day Proclamation and to designate Friday, April 24, 2020 as Arbor Day in University Park.

Moved by: Ms. Morrissey

Seconded by: Ms. Wells

Yea: 7

Nay: 0

Abstain: 0

8. APPROVAL OF MINUTES: February 24, 2020

Moved by: Ms. Verrill

Seconded by: Mr. Schultz

Yea: 5

Nay: 0

Abstain: 2 (Morrissey, Wells)

9. APPROVAL OF CLOSED SESSION MINUTES: February 24, 2020

Moved by: Mr. Caskey

Seconded by: Ms. Verrill

Yea: 5

Nay: 0

Abstain: 2 (Morrissey, Wells)

10. MAYOR AND COUNCIL REPORTS

A. MAYOR'S REPORT

- Mayor Carey and Chief Baker will attend the Dr. Seuss Green Eggs and Ham breakfast at the University Park Elementary School on Tuesday, March 3.
- The VeoRide Bike Share Program continues to grow with 40 new customers signing on every day in the month of February. In that same month, it was reported that scooters had 16,222 rides, 279 bike rides and 2,142 e-bike rides.
- A March meeting is being planned for a “walk” along Adelphi Road to discuss options for safe pedestrian and bicycle crossing.
- Mayor Carey encouraged Councilmembers to accept the breakfast invitation from the Office of County Councilmember Dannielle Glaros and to attend the breakfast scheduled for Wednesday, March 25.

B. COUNCIL AND COMMITTEE REPORTS

Sustainability Committee - Mr. Schultz

The next meeting is scheduled for Wednesday, March 4 at Town Hall at 7:30 p.m.

Helping Hands University Park - Ms. Verrill

A meeting is scheduled for Tuesday, March 3 at Town Hall at 7:30 p.m.

Development Overview Committee - Ms. Wells

The next meeting is scheduled for Thursday, March 12 at Town Hall at 7:30 p.m.

- Discussion will include: detailed site plan for the Dewey Property; renovation of the McDonalds on the corner of East West Highway and Baltimore Avenue; a new McDonalds on the corner of Riggs and University Boulevard and the comprehensive map amendment for the Zoning Ordinance (public hearing on March 23).
- The Bozzuto Project will be underway at the former Platos/Quality Inn site.

Public Facilities and Services - Mr. Caskey

The next meeting is scheduled for Thursday, March 19 at Town Hall at 7:30 p.m.

- Committee members will receive a copy of the Town Hall needs study from 10 years ago for discussion.

At the suggestion of Ms. Verrill, the meeting continued with discussion on practices and policies of the Council during meetings.

11. ADJOURNMENT by consent at 8:45 p.m.

DRAFT

Agenda Item 9
Treasurer's Report

**Town of University Park
Treasurer's Report
February 29, 2020**

Cash Balances

Bank of America - General Fund	\$14,402.14
Suntrust - General Fund	55,433.95
Suntrust - Debit Card A/C	12,242.36
MD Local Government Investment Pool	2,665,349.50
Police Benevolence Fund	9,333.40
Employee Holiday Fund	0.00
BB&T Bank - CD	4,208.20
Petty Cash	500.00
Total	<u>\$2,761,469.55</u>

**Town of University Park
Treasurer's Report
February 2020**

	<u>February</u>	<u>Jul '19 - Feb 20</u>	<u>Budget</u>	<u>\$ Over Budget</u>	<u>% of Budget</u>
Income					
General Fund Revenues					
I - Taxes					
4000-00 · Real Estate Tax Revenue	21,636.98	2,416,362.28	2,424,892.00	(8,529.72)	99.65%
4005-00 · Business Personal Property Tax	61.20	53,769.21	60,000.00	(6,230.79)	89.62%
4010-00 · Penalties & Interest on Taxes	173.21	2,000.27	1,000.00	1,000.27	200.03%
4020-00 · State Income Tax	156,445.01	429,968.59	652,815.00	(222,846.41)	65.86%
Total I - Taxes	<u>178,316.40</u>	<u>2,902,100.35</u>	<u>3,138,707.00</u>	<u>(236,606.65)</u>	<u>92.46%</u>
II - State Shared					
4015-00 · Highway Users		34,117.96	116,590.00	(82,472.04)	29.26%
4025-00 · Police Protection		24,754.00	49,730.00	(24,976.00)	49.78%
4030-00 · Bank Stock		0.00	10,257.00	(10,257.00)	0.0%
Total II - State Shared	<u>0.00</u>	<u>58,871.96</u>	<u>176,577.00</u>	<u>(117,705.04)</u>	<u>33.34%</u>
III - County					
4055-00 · Landfill Rebate		1,564.00	6,256.00	(4,692.00)	25.0%
Total III - County	<u>0.00</u>	<u>1,564.00</u>	<u>6,256.00</u>	<u>(4,692.00)</u>	<u>25.0%</u>
IV - Licenses & Permits					
4075-00 · Cable TV Franchise Payments		19,397.72	36,000.00	(16,602.28)	53.88%
4076-00 · Cable TV - Capital Equipment		12,158.40	22,600.00	(10,441.60)	53.8%
4080-00 · Building Permits & Fees		937.93	1,500.00	(562.07)	62.53%
Total IV - Licenses & Permits	<u>0.00</u>	<u>32,494.05</u>	<u>60,100.00</u>	<u>(27,605.95)</u>	<u>54.07%</u>
V - Miscellaneous					
4085-00 · Accident Reports		180.00			
4095-00 · Rental License Fees		6,800.00	31,200.00	(24,400.00)	21.8%
4100-00 · Fines - Police		550.00	4,000.00	(3,450.00)	13.75%
4105-00 · Vehicle Release		575.00	2,000.00	(1,425.00)	28.75%
4120-00 · Interest Income		18,956.60	37,500.00	(18,543.40)	50.55%
4150-00 · Revenue -Miscellaneous		1,806.25	1,889.00	(82.75)	95.62%
4155-00 · Revenue - Recycling	16.00	1,063.40	2,000.00	(936.60)	53.17%
4160-00 · Sale of Asset		850.00	17,000.00	(16,150.00)	5.0%
4170-00 · Red Light Camera		10,975.00	20,750.00	(9,775.00)	52.89%
4244-00 · Sale of Energy Credits		2,847.12	500.00	2,347.12	569.42%
4248-00 · PEPCO - Solar Array Excess Gen.		0.00	2,000.00	(2,000.00)	0.0%
Total V - Miscellaneous	<u>16.00</u>	<u>44,603.37</u>	<u>118,839.00</u>	<u>(74,235.63)</u>	<u>37.53%</u>
VI - Grant & Bond Revenue					
4206-00 · Maryland Bond Bill - Town Hall		0.00	200,000.00	(200,000.00)	0.0%
4212-00 · MHAA Grant		0.00	40,750.00	(40,750.00)	0.0%
4214-00 · Leaf/Utility Vehicle Lease		0.00	150,000.00	(150,000.00)	0.0%
4230-00 · Infrastructure Bond - 2019		0.00	1,800,000.00	(1,800,000.00)	0.0%
4243-00 · WSSC/WGL - Street Repair Rebate		0.00	516,000.00	(516,000.00)	0.0%
Total VI - Grant & Bond Revenue	<u>0.00</u>	<u>0.00</u>	<u>2,706,750.00</u>	<u>(2,706,750.00)</u>	<u>0.0%</u>
VII - Prior Year's Surplus					
		0.00	1,915,737.00	(1,915,737.00)	0.0%
Total General Fund Revenues	<u>178,332.40</u>	<u>3,039,633.73</u>	<u>8,122,966.00</u>	<u>(5,083,332.27)</u>	<u>37.42%</u>
Total Income	<u>178,332.40</u>	<u>3,039,633.73</u>	<u>8,122,966.00</u>	<u>(5,083,332.27)</u>	<u>37.42%</u>
Gross Profit	178,332.40	3,039,633.73	8,122,966.00	(5,083,332.27)	37.42%

**Town of University Park
Treasurer's Report
February 2020**

Expense	February	Jul '19 - Feb 20	Budget	\$ Over Budget	% of Budget
General Government					
I - Personnel - Gen Govt					
A Salaries - General Government					
6103-01 · Administration Expenses		0.00	75,000.00	(75,000.00)	0.0%
6104-01 · Mayor's Salary	1,538.46	12,923.06	20,000.00	(7,076.94)	64.62%
6105-01 · General Government - Reg	11,361.89	102,493.40	184,207.00	(81,713.60)	55.64%
6108-01 · General Government - Sick	349.36	2,393.92			
6109-01 · General Government - Vacation	2,080.32	12,665.39			
Total A Salaries - General Government	15,330.03	130,475.77	279,207.00	(148,731.23)	46.73%
B - Payroll Tax & Benefits - GG					
6600-01 · Life Insurance - Employee - GG	57.07	513.63			
6605-01 · Health Insurance - GG	122.85	1,798.13			
6610-01 · Payroll Taxes - GG	1,055.05	9,043.34	31,942.00	(22,898.66)	28.31%
6620-01 · Worker's Comp Insurance - GG		383.78			
6625-01 · Unemployment Insurance - GG	29.15	132.60			
6630-01 · State Retirement - GG		14,664.20			
6635-01 · Payroll Taxes - Mayor	117.70	1,000.39	3,590.00	(2,589.61)	27.87%
6640-01 · Unemployment - Mayor	4.61	9.23			
Total B - Payroll Tax & Benefits - GG	1,386.43	27,545.30	35,532.00	(7,986.70)	77.52%
Total I - Personnel - Gen Govt	16,716.46	158,021.07	314,739.00	(156,717.93)	50.21%
II -Operating - Gen. Government					
6000-01 · ADA (Interpreters)		0.00	250.00	(250.00)	0.0%
6005-01 · Accounting & Auditing		7,872.25	9,000.00	(1,127.75)	87.47%
6015-01 · Building Maintenance	663.00	9,050.80	15,000.00	(5,949.20)	60.34%
6020-01 · Building Utilities	1,149.78	2,893.39	7,000.00	(4,106.61)	41.33%
6027-01 · Council Retreat / Orientation		0.00	1,000.00	(1,000.00)	0.0%
6030-01 · Recording Secretary		2,125.00	5,000.00	(2,875.00)	42.5%
6050-01 · Elections		0.00	2,000.00	(2,000.00)	0.0%
6053-01 · Employee Awards and Events		1,900.52	3,000.00	(1,099.48)	63.35%
6055-01 · Engineering Serv. (Exc. Street)		0.00	2,000.00	(2,000.00)	0.0%
6064-01 · IT Costs	1,352.05	12,575.04	20,500.00	(7,924.96)	61.34%
6065-01 · Insurance	4,150.50	32,157.00	32,200.00	(43.00)	99.87%
6070-01 · Legal Advertisement		342.00	1,500.00	(1,158.00)	22.8%
6075-01 · Legal Fees		24,787.00	45,000.00	(20,213.00)	55.08%
6080-01 · Travel	607.01	1,051.46	20,000.00	(18,948.54)	5.26%
6085-01 · Memberships and Dues		5,923.28	6,000.00	(76.72)	98.72%
6090-01 · Newsletter		11,255.32	25,000.00	(13,744.68)	45.02%
6095-01 · Office Expenses	2,332.84	15,812.98	21,000.00	(5,187.02)	75.3%
6097-01 · Publications		0.00	8,000.00	(8,000.00)	0.0%
6110-01 · Small Equipment		5,232.50	6,000.00	(767.50)	87.21%
6115-01 · Telephone	211.90	5,492.85	10,000.00	(4,507.15)	54.93%
6128-01 · Training		375.00	1,500.00	(1,125.00)	25.0%
6130-01 · Website Maintenance & Design	695.00	6,260.00	8,800.00	(2,540.00)	71.14%
Total II -Operating - Gen. Government	11,162.08	145,106.39	249,750.00	(104,643.61)	58.1%

**Town of University Park
Treasurer's Report
February 2020**

	<u>February</u>	<u>Jul '19 - Feb 20</u>	<u>Budget</u>	<u>\$ Over Budget</u>	<u>% of Budget</u>
III - Grants & Donations					
6063-01 · Fire Dept Donation		0.00	9,000.00	(9,000.00)	0.0%
6096-01 · Northwestern High School - PTA		6,000.00	6,000.00	0.00	100.0%
6099-01 · PTA Donation		0.00	6,000.00	(6,000.00)	0.0%
6152-01 · Senior Programs - Helping Hands	62.80	654.64	5,000.00	(4,345.36)	13.09%
6203-02 · UPCA Grant		0.00	8,000.00	(8,000.00)	0.0%
6250-02 · Azalea Classic		6,000.00	6,000.00	0.00	100.0%
Total III - Grants & Donations	62.80	12,654.64	40,000.00	(27,345.36)	31.64%
IV -Capital Outlay - Gen. Govt.					
6137-01 · Town Hall Security/Lighting		0.00	10,700.00	(10,700.00)	0.0%
6138-01 · Town Hall Design & Construction		0.00	240,000.00	(240,000.00)	0.0%
Total IV -Capital Outlay - Gen. Govt.	0.00	0.00	250,700.00	(250,700.00)	0.0%
V - Transit					
6125-07 · Transit - Call-A-Bus	878.45	13,431.10			
6126-01 · Transit - Salaries	4,005.72	36,901.48	88,500.00	(51,598.52)	41.7%
6610-07 · Payroll Tax - Transit	306.43	2,855.73			
6620-07 · Workers Comp Insurance - Van		1,203.33			
6625-07 · Unemployment Insurance - Trans	12.01	24.37			
6630-07 · State Retirement - Van		5,440.52			
Total V - Transit	5,202.61	59,856.53	88,500.00	(28,643.47)	67.63%
Total General Government	33,143.95	375,638.63	943,689.00	(568,050.37)	39.81%

**Town of University Park
Treasurer's Report
February 2020**

	<u>February</u>	<u>Jul '19 - Feb 20</u>	<u>Budget</u>	<u>\$ Over Budget</u>	<u>% of Budget</u>
Police & Public Safety					
I - Police & PS - Personnel					
A - Salaries - P & PS					
6344-03 · Police - Vacation	155.68	12,020.55			
6345-03 · Police - Regular	46,610.72	386,779.60	670,540.00	(283,760.40)	57.68%
6346-03 · Police - OT	1,590.07	18,829.23			
6348-03 · Police - Holiday	1,238.96	10,003.36			
6349-03 · Police - Sick Plan	790.08	9,030.06			
Total A - Salaries - P & PS	50,385.51	436,662.80	670,540.00	(233,877.20)	65.12%
B - Payroll Tax & Benefits - PS					
6600-03 · Life Insurance - Employee - PS	110.00	990.00			
6605-03 · Health Insurance - Police & PS	4,004.64	47,155.46			
6610-03 · Payroll Taxes - Police & PS	3,860.90	33,749.77	237,091.00	(203,341.23)	14.24%
6620-03 · Workers Comp Insurance - PS		29,967.60			
6625-03 · Unemployment Insurance - PS	71.96	281.42			
6630-03 · State Retirement - PS		57,619.02			
Total B - Payroll Tax & Benefits - PS	8,047.50	169,763.27	237,091.00	(67,327.73)	71.6%
Total I - Police & PS - Personnel	58,433.01	606,426.07	907,631.00	(301,204.93)	66.81%
I.I - Code Compliance					
6380-03 · Code Compliance Salary	1,793.32	15,497.02	27,000.00	(11,502.98)	57.4%
6631-03 · Code Compliance- Payroll Tax	137.19	1,199.24			
6632-03 · Code Compliance- Unemployment	5.38	10.76			
6633-03 · Code Compliance Operating Costs	65.97	831.84	2,500.00	(1,668.16)	33.27%
Total I.I - Code Compliance	2,001.86	17,538.86	29,500.00	(11,961.14)	59.45%
II - Police & PS - Operating					
5303-03 · Citations - Red Light Camera	469.95	4,250.88	8,700.00	(4,449.12)	48.86%
6300-03 · Bike Patrol		161.98	2,000.00	(1,838.02)	8.1%
6303-03 · Body Worn Cameras		4,509.00	11,000.00	(6,491.00)	40.99%
6305-03 · Computer		0.00	2,000.00	(2,000.00)	0.0%
6307-03 · Crossing Guards	544.50	4,600.82	7,200.00	(2,599.18)	63.9%
6315-03 · Police Supplies & Manuals	422.02	5,681.38	9,240.00	(3,558.62)	61.49%
6320-03 · Gasoline	1,693.36	14,822.62	22,000.00	(7,177.38)	67.38%
6323-03 · Home Security Reimb. Program		100.00	1,500.00	(1,400.00)	6.67%
6325-03 · Medical Exams		6,445.50	7,000.00	(554.50)	92.08%
6327-03 · MILES Computer		0.00	100.00	(100.00)	0.0%
6329-03 · Mobile Data Terminals	541.26	3,372.14	6,375.00	(3,002.86)	52.9%
6330-03 · Travel, Meetings, Prof. Dues		920.00	3,500.00	(2,580.00)	26.29%
6340-03 · Radio Maintenance		0.00	500.00	(500.00)	0.0%
6350-03 · Small Equipment - Police	1,519.58	6,135.40	14,400.00	(8,264.60)	42.61%
6351-03 · Uniforms					
6360-03 · Uniform Cleaning		982.34	8,300.00	(7,317.66)	11.84%
6365-03 · Uniform Purchase	111.28	4,396.76			
Total 6351-03 · Uniforms	111.28	5,379.10	8,300.00	(2,920.90)	64.81%
6355-03 · Training		4,898.26	6,000.00	(1,101.74)	81.64%
6370-03 · Vehicle Maintenance		7,714.48	8,500.00	(785.52)	90.76%
Total II - Police & PS - Operating	5,301.95	68,991.56	118,315.00	(49,323.44)	58.31%
III - Police & PS - Cap. Outlay					
6335-03 · Police Car	0.00	0.00	49,500.00	(49,500.00)	0.0%
6558-03 · Purchase of Speed Signs		5,824.00	6,289.00	(465.00)	92.61%
Total III - Police & PS - Cap. Outlay	0.00	5,824.00	55,789.00	(49,965.00)	10.44%
Total Police & Public Safety	65,736.82	698,780.49	1,111,235.00	(412,454.51)	62.88%

**Town of University Park
Treasurer's Report
February 2020**

	<u>February</u>	<u>Jul '19 - Feb 20</u>	<u>Budget</u>	<u>\$ Over Budget</u>	<u>% of Budget</u>
Public Works					
I - Personnel - PW					
A - Salaries - PW					
6545-05 · Mechanic	5,497.60	46,819.14			
6550-05 · Public Works	29,020.53	243,567.08	571,959.00	(328,391.92)	42.59%
6551-05 · Public Works - OT	57.86	10,733.26			
6553-05 · Contract Labor	1,497.60	29,091.48			
6554-05 · Public Works - Sick	2,151.85	10,467.76			
6555-05 · Public Works - Vacation	1,782.83	22,428.58			
Total A - Salaries - PW	<u>40,008.27</u>	<u>363,107.30</u>	<u>571,959.00</u>	<u>(208,851.70)</u>	<u>63.49%</u>
B - Payroll Tax & Benefits - PW					
6600-05 · Life Insurance - Employee -PW	137.50	1,278.40			
6605-05 · Health Insurance	8,640.22	108,399.34			
6610-05 · Payroll Taxes - PW	2,860.93	25,411.07	256,402.00	(230,990.93)	9.91%
6620-05 · Workers Comp Insurance - PW		8,425.72			
6625-05 · Unemployment Insurance - PW	71.96	172.49			
6630-05 · State Retirement - PW		50,163.84			
Total B - Payroll Tax & Benefits - PW	<u>11,710.61</u>	<u>193,850.86</u>	<u>256,402.00</u>	<u>(62,551.14)</u>	<u>75.6%</u>
Total I - Personnel - PW	<u>51,718.88</u>	<u>556,958.16</u>	<u>828,361.00</u>	<u>(271,402.84)</u>	<u>67.24%</u>
II - Operating - Parks & Rec					
6202-02 · Cemetery Upkeep		0.00	100.00	(100.00)	0.0%
6210-02 · Tree Maintenance		12,805.00	20,000.00	(7,195.00)	64.03%
6215-02 · Tree Replacement		7,990.20	8,000.00	(9.80)	99.88%
6217-02 · Tree Replacement Program		1,625.94	4,000.00	(2,374.06)	40.65%
6220-02 · Upkeep of Park		3,543.91	8,000.00	(4,456.09)	44.3%
6227-02 · Park Usage Concept Plan		0.00	100.00	(100.00)	0.0%
6230-02 · Playing Field Maintenance		3,220.00	7,000.00	(3,780.00)	46.0%
6235-02 · Park Landscape Maintenance		6,360.00	10,000.00	(3,640.00)	63.6%
Total II - Operating - Parks & Rec	<u>0.00</u>	<u>35,545.05</u>	<u>57,200.00</u>	<u>(21,654.95)</u>	<u>62.14%</u>
III - Operating - Streets					
6410-04 · Snow Removal Supplies		0.00	5,000.00	(5,000.00)	0.0%
6420-04 · Street Lights	2,307.86	15,467.31	28,000.00	(12,532.69)	55.24%
6425-04 · Street Repairs		4,233.65	24,500.00	(20,266.35)	17.28%
6435-04 · Street Trees - Replacement		10,019.00	10,000.00	19.00	100.19%
6440-04 · Street Tree - Maintenance		14,371.00	28,000.00	(13,629.00)	51.33%
Total III - Operating - Streets	<u>2,307.86</u>	<u>44,090.96</u>	<u>95,500.00</u>	<u>(51,409.04)</u>	<u>46.17%</u>
IV - Operating - Gen./Sanit					
Uniforms					
6570-05 · Uniform Purchases		3,819.08	5,500.00	(1,680.92)	69.44%
Total Uniforms	<u>0.00</u>	<u>3,819.08</u>	<u>5,500.00</u>	<u>(1,680.92)</u>	<u>69.44%</u>
6500-05 · Fuel	1,956.06	18,318.44	28,000.00	(9,681.56)	65.42%
6501-05 · Composting		3,481.11	5,000.00	(1,518.89)	69.62%
6505-05 · Landfill	6,671.61	24,019.98	64,000.00	(39,980.02)	37.53%
6510-05 · Landfill - Compost (MD Environ)	5,272.50	15,616.76			
6515-05 · Medical Exams		0.00	500.00	(500.00)	0.0%
6535-05 · Recycling Costs		3,638.76	12,000.00	(8,361.24)	30.32%
6546-05 · Travel & Dues		5,183.67	5,000.00	183.67	103.67%
6547-05 · Training		386.95	2,000.00	(1,613.05)	19.35%
6560-05 · Tools & Supplies	232.98	6,007.02	8,000.00	(1,992.98)	75.09%
6580-05 · Vehicle Maintenance	6,427.35	23,605.18	30,000.00	(6,394.82)	78.68%
6585-05 · Work & Storage Space	3,001.89	35,917.66	45,700.00	(9,782.34)	78.59%
6590-05 · Tiger Mosquito Repression Prog.		0.00	100.00	(100.00)	0.0%
Total IV - Operating - Gen./Sanit	<u>23,562.39</u>	<u>139,994.61</u>	<u>205,800.00</u>	<u>(65,805.39)</u>	<u>68.03%</u>

**Town of University Park
Treasurer's Report
February 2020**

	<u>February</u>	<u>Jul '19 - Feb 20</u>	<u>Budget</u>	<u>\$ Over Budget</u>	<u>% of Budget</u>
V - Capital Outlay - PW					
6504-05 · Capital Outlay Trash Container	222.50	5,505.93	7,000.00	(1,494.07)	78.66%
6509-05 · Park Bridge Repl. Beechwood Rd		1,989.98	100,000.00	(98,010.02)	1.99%
6517-05 · Leaf/Utility Truck Purchase		0.00	150,000.00	(150,000.00)	0.0%
6518-05 · Street & Infrastructure FY2020		0.00	2,507,106.00	(2,507,106.00)	0.0%
6519-05 · MHAA Trail Project		9,217.00	81,500.00	(72,283.00)	11.31%
Total V - Capital Outlay - PW	<u>222.50</u>	<u>16,712.91</u>	<u>2,845,606.00</u>	<u>(2,828,893.09)</u>	<u>0.59%</u>
Total Public Works	77,811.63	793,301.69	4,032,467.00	(3,239,165.31)	19.67%
Reserves & Debt Service					
I. Unreserved - Designated					
6600-08 · Vehicle Replacement		0.00	26,000.00	(26,000.00)	0.0%
6610-08 · Tree Replacement		0.00	40,000.00	(40,000.00)	0.0%
6615-08 · Police Officer		0.00	68,000.00	(68,000.00)	0.0%
Total I. Unreserved - Designated	<u>0.00</u>	<u>0.00</u>	<u>134,000.00</u>	<u>(134,000.00)</u>	<u>0.0%</u>
II. Reserved - Designated					
6630-08 · Cemetery		0.00	4,204.00	(4,204.00)	0.0%
6640-08 · Cable Capital Equipment		0.00	173,150.00	(173,150.00)	0.0%
Total II. Reserved - Designated	<u>0.00</u>	<u>0.00</u>	<u>177,354.00</u>	<u>(177,354.00)</u>	<u>0.0%</u>
III. Debt Service					
6044-01 · Debt Service Infrast. Bond		206,241.84	206,254.00	(12.16)	99.99%
6051-01 · Debt Service - 2019 Bond		0.00	125,268.00	(125,268.00)	0.0%
6054-01 · Leaf/Utility Truck Lease Pymt.	744.00	28,962.81	29,000.00	(37.19)	99.87%
6507-05 · Packer Lease Payment		58,192.76	58,200.00	(7.24)	99.99%
Total III. Debt Service	<u>744.00</u>	<u>293,397.41</u>	<u>418,722.00</u>	<u>(125,324.59)</u>	<u>70.07%</u>
IV. Unreserved Funds	<u>0.00</u>	<u>0.00</u>	<u>1,305,499.00</u>	<u>(1,305,499.00)</u>	<u>0.0%</u>
Total Reserves & Debt Service	<u>744.00</u>	<u>293,397.41</u>	<u>2,035,575.00</u>	<u>(1,742,177.59)</u>	<u>14.41%</u>
Total Expense	<u>177,436.40</u>	<u>2,161,118.22</u>	<u>8,122,966.00</u>	<u>(5,961,847.78)</u>	<u>26.61%</u>
Net Income	<u>896.00</u>	<u>878,515.51</u>	<u>0.00</u>	<u>878,515.51</u>	<u>100.0%</u>

Agenda Item 9
Police Report

**University Park
Police Information
Crime Report
February 24 – March 16, 2020**

Ward 1

On March 5, 2020 at 3:17 p.m., an unknown male suspect broke into a residence in the 6300 Queens Chapel Road and fled in a black SUV. The only property that was stolen was a jar full of coins, however, it was recovered on the property.

Ward 2

No activity to report.

Ward 3

No activity to report.

Ward 4

No activity to report.

Ward 5

No activity to report.

Ward 6

No activity to report.

Ward 7

No activity to report.

Training –

- March 1-2, Sgt. Sunday attended a Drug Recognition Expert (DRE) Conference.
- March 4, Chief Baker participated in a Suicide Awareness Forum for Law Enforcement Executives at Fairfax County Police Headquarters.
- March 5, Chief Baker participated in a coronavirus conference call with Prince George's County Public Health Officials.
- March 6, Chief Baker attended a Town Hall Meeting on coronavirus.
- March 9-11, Sgt. Sunday and Stennett completed Police In-Service Training.
- March 11, Chief Baker participated in Maryland Chief's and Prince George's Police Chief's Association coronavirus conference calls.

Stop Sign Enforcement Initiative –

- During the month of March, the University Park Police conducted a stop sign enforcement initiative and wrote 42 enforcement actions for stop sign violations.

April is Distracted Driving Month –

- *April 11, University Park Police and Maryland State Police, College Park Barrack will conduct a distracted driving enforcement initiative on Baltimore Avenue, East West Hwy and Adelphi Road from 7 p.m. to 1 a.m.*

Help the University Park Police prevent theft from your vehicle by removing all valuables and locking the doors. Remember – Keep it Safe, Keep it with you!

**Anyone with tips regarding crimes committed in University Park is encouraged to contact the UPPD. All information will be kept confidential. Callers wishing to remain anonymous may call Crime Solvers at 1-866-411 TIPS (8477) OR text "PGPD plus your tip" to CRIMES (274637) on your cell phone OR go to <http://www.princegeorgescountymd.gov/police/> and submit a tip online.

Chief's Blog

