



**MEETING OF
UNIVERSITY PARK MAYOR AND COMMON COUNCIL
WILL BE HELD
VIA VIDEO AND AUDIO CONFERENCE
7:30 p.m.
October 19, 2020
REGULAR SESSION**

The Council meeting will be conducted entirely remotely with no in-person meeting attendance. To join the Council meeting through a video conference, please use the link below.

Join Meeting: <https://us02web.zoom.us/j/82490066447?pwd=bHFDSFR5NWpPaHo2aTB3ZWl5cHpVdz09>
To join with audio only, dial: (301) 715-8592
Meeting ID: 824 9006 6447
Passcode: 040376

Public Participation:
Participants who join the video/audio conference will be muted and video turned off during the meeting except for Mayor, Council, and staff. Participants will have the opportunity to speak during Public Comment - agenda item #6. During that time, all participants will be taken off mute. If you would like to comment, please state your name and Mayor Carey will call on you to speak. Public comments will be limited to three minutes.

Public comments or questions may also be made by emailing the Town Clerk Andrea Marcavitch at amarcavitch@upmd.org. All electronic comments must be submitted by 6 p.m. on October 19, 2020. Comments received will be read by the Town Clerk during public comment.

1. CALL TO ORDER: *Mayor Carey*

Present:	Biermann Schultz Morrissey Verrill Caskey Wells Stephen	Absent:	Biermann Schultz Morrissey Verrill Caskey Wells Stephen
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2. PLEDGE OF ALLEGIANCE – Mayor Carey

3. APPROVAL OF THE AGENDA

Moved by:	Seconded by:	
Yea:	Nay:	Abstain:

4. APPROVAL OF MINUTES: *October 5, 2020*

Moved by:

Seconded by:

Yea:

Nay:

Abstain:

5. CONSENT AGENDA

Motion: To approve the following consent agenda items.

Moved by:

Seconded by:

Yea:

Nay:

Abstain:

**A. BUILDING PERMIT APPLICATION TO REPAIR, REPLACE AND EXTEND DRIVEWAY
(Nitish Sinha, 4200 Underwood Street) Ward 4**

To repair, replace and extend driveway to total 34'x 15.5' on Lot 11 &12 and Block 30 at 4200 Underwood Street.

**B. BUILDING PERMIT APPLICATION TO INSTALL TWO BASEMENT WINDOWS
(Jeff Zhou, 3903 Underwood Street) Ward 6**

To upgrade two basement windows from 32"x 28" to 32"x 46" in size on Lot 18 and Block 39 at 3903 Underwood Street.

**C. BUILDING PERMIT APPLICATION TO INSTALL GARAGE FOUNDATION DRAIN
(Knights of Columbus, 7001 Forest Hill Drive) Ward 7**

To install a bio retention rain garden system with the capacity to retain 100 gallons of water to address water issues around the garage foundation on Lot 8 & 9 and Block 43 at 7001 Forest Hill Drive.

**Town Engineer has reviewed, and application reflects recommendations.*

**D. BUILDING PERMIT APPLICATION TO INSTALL A DECK
(Jason Monroe, 4103 Woodberry Street) Ward 7**

To install a 20'x 15' deck with steps on Lot 9 and Block 31 at 4103 Woodberry Street.

6. PUBLIC COMMENT

7. MAYOR, COUNCIL, AND COMMITTEE COMMENTS AND REPORTS

A. MAYOR'S REPORT ~ *Mayor Len Carey*

B. COMMITTEE REPORTS AND COUNCIL COMMENTS

8. CONTINUING BUSINESS

A. ADOPTION OF LEGISLATIVE RESOLUTION 20-O-09: AMENDING CHAPTER 4, §4-110, “LIMITATIONS ON FENCES”, ALLOWING 6’ FENCES IN REAR AND SIDE YARDS (*Second Reading*)

Motion: To adopt Legislative Resolution 20-O-9 to amend chapter 4 by repealing and reenacting §4-102 "Definitions" and § 4-110, “Limitations on Fences” of the Code of Ordinances of the Town of University Park, to allow fences six (6) feet in height in side and rear yards, with some exceptions, to clarify certain definitions, and to make clarifying and conforming changes

The earliest date this motion may be considered for passage is November 2, 2020.

Moved by:

Seconded by:

Yea:

Nay:

Abstain:

B. ADOPTION OF LEGISLATIVE RESOLUTION 20-O-10: AMENDING CHAPTER 9, §9-104, “PARKING”, TO ESTABLISH ADDITIONAL NO PARKING ZONES ON TENNYSON ROAD AND LIMITED DURATION NO PARKING ZONES ON 40TH AND 41ST AVENUES AND TENNYSON ROAD (*Second Reading*)

Motion: To adopt Legislative Resolution 20-O-10 to amend Chapter 9 by repealing and reenacting §9-104 “Parking” of the Code of Ordinances of the Town of University Park, to establish additional no parking zones on Tennyson Road, and limited duration no parking zones to coincide with leaf collection season on 40th and 41st Avenues and Tennyson Road.

The earliest date this motion may be considered for passage is November 2, 2020.

Moved by:

Seconded by:

Yea:

Nay:

Abstain:

9. NEW BUSINESS

A. INTRODUCTION OF CHARTER RESOLUTION 20-CR-02: AMENDING ARTICLE V, “REGISTRATION, NOMINATIONS AND ELECTIONS”, SECTION 502 “SUPERVISORS OF ELECTIONS”, SECTION 503 “REGISTRATION”, SECTION 504 “ELECTIONS” AND SECTION 506 “CANDIDATES FOR OFFICE” (*Introduction*)

Motion: To approve the introduction of Charter Resolution 20-CR-02 to repeal and re-enact Article V, “Registration, Nominations and Elections”, Section 502, “Supervisors of Elections”, Section 503, “Registration”, Section 504 “Elections” and Section 506, “Candidates for Office” to change the requirements for public notice of elections, set the date for closure of voter registration at twenty-nine days prior to the election, make provision for when the twenty-nine day deadline for voter registration and filing of candidate petitions falls on a Saturday, Sunday or holiday, make provision for appeal of the decisions of the Supervisors of Elections and the Mayor and Common Council and the timing therefore, delete outdated references, and make conforming and clerical changes.

The earliest date this motion may be considered for passage is December 7, 2020.

Moved by:

Seconded by:

Yea:

Nay:

Abstain:

B. INTRODUCTION OF LEGISLATIVE RESOLUTION 20-O-11: RECODIFYING THE TOWN CODE

Motion: To introduce Legislative Resolution 20-O-11 to recodify the Town of University Park Code of Ordinances with no substantive changes, and to include grammatical changes, correct code references and other minor non-substantive changes, and renumbering of chapters, articles and sections with internal references and cross- references.

The earliest date this motion may be considered for passage is November 2, 2020.

Moved by:

Seconded by:

Yea:

Nay:

Abstain:

C. DONATION TO SUPPORT ROUTE ONE COMMUNITIES CARE

Motion: To approve a \$10,000 donation to Route One Communities Care (ROCC) to address food insecurity among Route One communities using funds from the Federally funded CARES Act.

Moved by:

Seconded by:

Yea:

Nay:

Abstain:

10. ADMINISTRATOR AND DEPARTMENT REPORTS

A. REPORT FROM THE TOWN ADMINISTRATOR ~ *David Deutsch*

B. REPORT FROM THE TOWN ATTORNEY ~ *Suellen Ferguson*

C. REPORT FROM THE TOWN CLERK ~ *Andrea Marcavitch*

D. REPORT FROM THE CHIEF OF POLICE ~ *Chief Harvey Baker*

E. REPORT FROM THE TOWN TREASURER ~ *Dan Baden*

F. REPORT FROM THE DIRECTOR OF PUBLIC WORKS ~ *Michael Beall*

11. ADJOURNMENT

**** A Closed Session may be called ****

Agenda Item 4
Draft 10/5 Council Meeting Minutes



**MEETING OF
UNIVERSITY PARK MAYOR AND COMMON COUNCIL
VIA VIDEO AND AUDIO CONFERENCE
7:30 p.m.
October 5, 2020
MINUTES**

1. CALL TO ORDER: *Mayor Carey* at 7:30 p.m.

Present: Mr. Biermann, Mr. Schultz, Ms. Morrissey, Ms. Verrill, Mr. Caskey, Ms. Wells,
Mr. Stephen

Absent: None

Excused: None

2. PLEDGE OF ALLEGIANCE – was led by Mayor Carey.

3. APPROVAL OF THE AGENDA

Moved by: Ms. Wells

Seconded by: Ms. Verrill

Yea: 7

Nay: 0

Abstain: 0

4. APPROVAL OF MINUTES: *September 28, 2020* as amended.

Moved by: Ms. Verrill

Seconded by: Mr. Stephen

Yea: 7

Nay: 0

Abstain: 0

Note: #6 Public Comment, Bullet #1 - Add: "Councilmember and resident of North Brentwood" before Mr. Charles Wiley's name.

5. CONSENT AGENDA

Motion: To approve the following consent agenda items.

Moved by: Ms. Wells

Seconded by: Mr. Caskey

Yea: 7

Nay: 0

Abstain: 0

**A. BUILDING PERMIT APPLICATION TO INSTALL A NEW 4' FENCE
(Karen Lyon, 6804 Pineway) Ward 5**

To install a 90' section of 4' fence along the rear property line on Lot 70 at 6804 Pineway.

**B. BUILDING PERMIT APPLICATION TO REPLACE FENCE AND INSTALL A SHED
(Ernesto and Andrea Corrales, 6704 40th Avenue) Ward 6**

To replace two sections of 4' fence including a gate, to remove existing shed and install a new 7'x 7' shed in the rear yard on Lot 33, Block 39 and Section 7 at 6704 40th Avenue.

**C. BUILDING PERMIT APPLICATION TO INSTALL A 4' FENCE
(Danielle LeClair, 4206 College Heights Drive) Ward 7**

To install a 4' fence on Lot 2, Block 32 and Section 7 at 4206 College Heights Drive.

6. PUBLIC COMMENT

- In reference to the introduction of the ordinance to change the permitted fence height from 4' to 6', this resident opposed the proposed amendment. The resident is concerned with what the town might look like in 20 years if $\frac{3}{4}$ of the yards have 6' fences. It would be less of a community and more of isolated individuals. The resident suggested that any fence higher than 4' would not allow visibility through the fence.
- A resident and member of the Greater Riverdale and Route 1 Community Cares Group hopes that Mayor Carey gives an update on the possibility of University Park making a donation to this very important project.
- A resident asked for an update on the \$400,000 received from Riverdale Park Station several years ago for upstream control projects. With the recent 1,000 year-storm, this resident recommends looking into expanding the capacity of Nine Pond. There is rumor that the Army Reserve Center on Route 1 may be redeveloped. This resident said that it would be appropriate to have a portion of that land set aside just for stormwater management beyond what is required.
- A resident who is in favor of allowing 6' fences suggested that the Council consider an addition to the ordinance by requesting that the fence be of uniform materials.
- A resident expressed their support in allowing 6' fences and she said that University Park should be consistent with Prince George's County's 6' requirement.

7. MAYOR, COUNCIL, AND COMMITTEE COMMENTS AND REPORTS

A. MAYOR'S REPORT ~ *Mayor Len Carey*

- Mayor Carey answered the question from Public Comment regarding the money received from Riverdale Park Station in lieu of stormwater vaults. He understood the amount received was \$450,000 from the Cafritz Foundation to go towards the 9-Pond. Because the feasibility study was studied through the Prince George's Plaza Transit District Development Planning process, he expects the money is still available to help pay for construction.
- Town Clerk Andrea Marcavitch was thanked for designing a new page on the Town website - upmd.org/Veterans recognizing University Park veterans.
- The Civic Association is currently working on the details for the upcoming Veterans Day event
- The Prince George's County Zoning Map Amendment is close to completion.
- Mayor Carey and twenty-two Prince George's County Mayors will drop their ballots together on October 10 in a ballot drop box at the Board of Elections in an effort to encourage everyone to vote. A reminder for those who plan to mail their ballots should do so early or bring their ballot to a designated drop-off location.

B. COMMITTEE REPORTS AND COUNCIL COMMENTS

Sustainability Committee - Mr. Schultz

The next meeting is scheduled for Wednesday, October 7.

Policy, Rules and Municipal Structure Committee - Ms. Verrill

- The Committee met on Thursday, October 1 and the minutes will be available soon.

Development Overview Committee - Mr. Biermann

The next meeting is scheduled for Thursday, October 8.

- Discussion will include zoning.

8. NEW BUSINESS

A. INTRODUCTION OF LEGISLATIVE RESOLUTION 20-O-09: AMENDING CHAPTER 4, §4-110, LIMITATIONS ON FENCES, ALLOWING 6’ FENCES IN REAR AND SIDE YARDS (First Reading)

Motion: To introduce Legislative Resolution 20-O-9 to amend chapter 4 by repealing and reenacting §4-102 "Definitions" and § 4-110, "Limitations on Fences" of the Code of Ordinances of the Town of University Park, to allow fences six (6) feet in height in side and rear yards, with some exceptions, to clarify certain definitions, and to make clarifying and conforming changes.

The earliest date this motion may be considered for passage is November 2, 2020.

Moved by: Ms. Verrill

Seconded by: Mr. Stephen

Yea: 7

Nay: 0

Abstain: 0

B. INTRODUCTION OF LEGISLATIVE RESOLUTION 20-O-10: AMENDING CHAPTER 9, §9-104, PARKING, TO ESTABLISH ADDITIONAL NO PARKING ZONES ON TENNYSON ROAD AND LIMITED DURATION NO PARKING ZONES ON 40TH AND 41ST AVENUES AND TENNYSON ROAD (First Reading)

Motion: To introduce Legislative Resolution 20-O-10 to amend Chapter 9 by repealing and reenacting §9-104 "Parking" of the Code of Ordinances of the Town of University Park, to establish additional no parking zones on Tennyson Road, and limited duration no parking zones to coincide with leaf collection season on 40th and 41st Avenues and Tennyson Road.

The earliest date this motion may be considered for passage is November 2, 2020.

Moved by: Mr. Schultz

Seconded by: Ms. Wells

Yea: 7

Nay: 0

Abstain: 0

Call Vote:	Mr. Biermann	Yea
	Mr. Schultz	Yea
	Ms. Morrissey	Yea
	Ms. Verrill	Yea
	Mr. Caskey	Yea

Ms. Wells Yea
Mr. Stephen Yea

C. TOWN ACTIONS ON FLOODING CONCERNS

Town Administrator David Deutsch summarized Town actions on flooding and discussed with Council.

- A memo dated October 2 from Mr. Deutsch provided an overview of the September 10 rain storm and was distributed in the [Council meeting packet](#).
- The residents that experienced damage due to the storm should be following up with their insurance companies as well as filing reports with Prince George’s County. The County is aggregating with the Maryland Emergency Management Agency to see if the region satisfies the requirements for a federal disaster declaration.
- A company was recently hired to see if there was any clogging in the pipes that may have contributed to the severity of the flooding and they found only one small clog, nothing significant.
- The Town is currently researching the possibility of the County taking responsibility of maintenance of three different stormwater management locations within University Park.
- A Councilmember said to prevent future flooding on Clagett-Pineway, it is in the Town’s interest to investigate the possibility of tapping into the upcoming Calvert Hills Drainage Project involving Guilford Run, which is expected to begin in 2022. He urges support from his fellow Councilmembers to investigate this option. Mayor Carey believes that fixing Guilford Run through the Calvert Hills project will also improve what happens along Clagett-Pineway in University Park

D. QUEENS CHAPEL ROAD INFRASTRUCTURE BRIEFING

Public Works Director Mickey Beall gave an update.

- The final design for Queens Chapel Road is complete and the project is ready to proceed with contracts in place for inspection and project management.
- The project will begin in October.
- Mr. Beall responded to a question by saying that all of the asphalt aprons will be replaced with concrete and he believes that the concrete aprons will also be replaced.
- Mayor Carey responded to a question that the sidewalk in the 6500 block on the west side of Queens Chapel Road will remain in place.
- Mr. Schultz said that the plan is to install several electric vehicle chargers in the parallel parking across from the school. The cost of this will be paid by the Electrical Vehicle Institute.

9. TOWN ADMINISTRATOR’S REPORT

- The Town Treasurer remains in frequent contact with the County regarding the Cares Act Funding.

10. ADJOURNMENT by consent at 9:02 p.m.

Agenda Item 5A
Sinha Building Permit Application
4200 Underwood Street



Building Permit Application

◆ The Town of University Park ◆

An incorporated municipality in Prince George's County, Maryland
Town Hall, 6724 Baltimore Avenue, University Park, Maryland 20782
Phone (301) 927-4262 Fax (301) 277-4548 Email: townhall@upmd.org

For Office Use Only	
Blind # <u>4</u>	Date Received <u>10/5/2020</u>
Permit Application	Approved <input type="checkbox"/>
	Rejected <input type="checkbox"/>
Check cash fee	\$24.15
Permit Number	_____
Date Issued	_____

Name of Applicant: Nitish Sinha

Telephone Number: 202 450-7654 Home _____ Cell _____

Work _____ Email: Nitish.R.Sinha@frob.gov

Street Address of Property: 4200 Underwood St, University Park MD

Lot Number _____ Block Number _____ Section Number _____

Person/Company Doing the Work: The Landscapers, LLC

Address/Phone: 15210 Dino Drive #132, Burtonville MD 301-915-7355

Signature of Property Owner: N. Josh Rangan Date: 6/15/20

Description of Work

Check all that apply:

Fence Height _____ Material _____ Style _____

Outbuilding Dimensions: _____ Height at Apex _____

Materials: _____

Other (Please Specify) paved driveway

Dimensions: 34' long x 15.5' wide Height at Apex _____

Material: permeable pavers

Please Specify Reason for Structure: _____

POD or Dumpster (check one) (Car will be placed on the property _____ or on the street

Date the unit will be delivered: TBD picked up: TBD

Permit and Non-Responsible Party Fee Paid (\$10 + 10% of County permit fee (if applicable)) = \$24.15

Caution: To begin construction before a permit has been issued and prominently displayed for inspection of the project, you will be in violation of section 27-101.2.

ORDERED BY:

titleforward

© 267-908-8999
www.titleforward.com



PROPERTY ADDRESS: 4200 UNDERWOOD STREET UNIVERSITY PARK, MARYLAND 20782

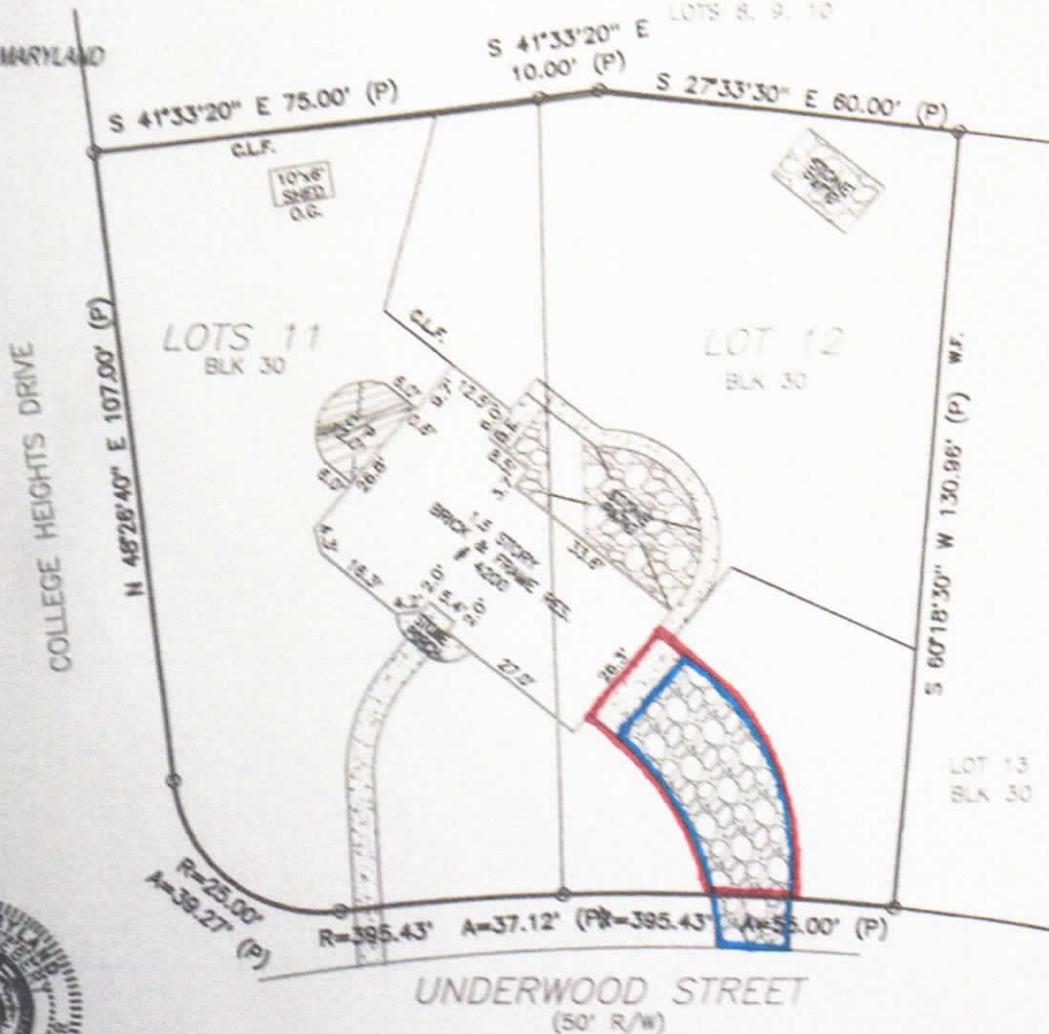
SURVEY NUMBER: MD1404.0038

FIELD WORK DATE: 4/10/2014

REVISION HISTORY: REV 1 4/11/2014

MD1404.0038
LOCATION DRAWING
LOT 11 AND 12, BLOCK 30
UNIVERSITY PARK
PRINCE GEORGE'S COUNTY, MARYLAND
04-10-2014 SCALE 1"=30'

PREVIOUSLY RECORDED
88-8-89
LOTS 8, 9, 10



William J. [Signature]
EXPIRES 1-1-2015



GRAPHIC SCALE (In Feet)
1 inch = 30' ft.

ACCURACY=3±

Existing Condition:
Outline in Blue

Proposed Condition:
Outlined in Red

Existing Concrete Driveway Apron
From the Road to the Proposed
Driveway Will Not be Disturbed



PRINCE GEORGE'S COUNTY, MARYLAND
 DEPARTMENT OF PERMITTING, INSPECTIONS AND ENFORCEMENT
SITE/ROAD PERMIT PROCESSING UNIT
PERMIT FOR RESIDENTIAL DRIVEWAY CONSTRUCTION AND RELATED
ACTIVITIES WITHIN THE PUBLIC RIGHT-OF-WAY AND PRIVATE PROPERTY
SITE WORK



CASE NAME : **UNIVERSITY PARK**
 CASE NUMBER: **19819-2020-00**

CASE TYPE: **RESIDENTIAL DRIVEWAY PERMIT**
 DISTRICT: **NORTH**

Permittee

NITISH SINHA
 4200 UNDERWOOD ST
 UNIVERSITY PARK, MD 20782
 (202) 450-7654

Owner of Property

NITISH SINHA & ELIZABETH NEWCOMB
 4200 UNDERWOOD ST
 UNIVERSITY PARK, MD 20782

Officer Name : SINHA, NITISH
Officer Title :

Contact Person: BROWN, EVAN - THE LANDSCAPERS, LLC (301) 975-7355

THIS IS TO CERTIFY THAT THE PERMITTEE HAS PERMISSION TO PERFORM WITHIN THE PUBLIC RIGHT-OF-WAY:

Municipality: **TOWN OF UNIVERSITY PARK**

RESIDENTIAL PARKING PAD OTHER

On Site Disturbed Area:

R/W Disturbed Area:

Dimensions :

OTHER:

REPAIR/REPLACE DRIVEWAY

THE PROPOSED CONSTRUCTION SHALL BE PERFORMED AND COMPLETED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AS APPROVED BY THE DEPARTMENT OF PERMITTING, INSPECTIONS AND ENFORCEMENT OF PRINCE GEORGE'S COUNTY AND IN ACCORDANCE WITH THE SUBTITLE 23 AND SUBTITLE 32 OF THE PRINCE GEORGE'S COUNTY CODE AND THE GENERAL SPECIFICATIONS AND STANDARDS FOR ROADWAYS AND BRIDGES, AND SUBJECT TO THE INSPECTION AND CONTROL OF THE DEPARTMENT OF PERMITTING, INSPECTIONS AND ENFORCEMENT OF PRINCE GEORGE'S COUNTY.

RELATED SITE/ROAD PERMIT# :

RELATED BUILDING PERMIT# :

LOCATION(S) OF PROPOSED WORK:

Street Address : **4200 UNDERWOOD ST**

Map Page & Grid: **5409 J5**

Lot : 11 & 12 Block : 30

Parcel :

Tax Account# : **2139442**

FEE : PAID :

BOND: PAID:

BOND # :

BOND CO:

BOND TYPE :

PERMIT EXPIRATION: September 25, 2021

James Coutouriet

CHIEF, SITE/ROAD PERMIT PROCESSING UNIT

September 25, 2020

DATE

IT SHALL BE THE RESPONSIBILITY OF THE APPLICANT TO APPLY FOR AN EXTENSION IN WRITING NOT LESS THAN THIRTY (30) DAYS PRIOR TO THE EXPIRATION DATE. THE APPLICANT SHALL NOTIFY THE DEPARTMENT AT LEAST 48 HOURS PRIOR TO STARTING CONSTRUCTION OR RESTARTING CONSTRUCTION BY CONTACTING DPIE'S INSPECTION SECTION AT 301-883-3820. SELECT THE PROMPT FOR SITE DEVELOPMENT INSPECTION.

PRINCE GEORGE'S COUNTY
CUSTOMER INVOICE

DEPARTMENT OF PERMITTING, INSPECTIONS AND ENFORCEMENT
PERMITTING AND LICENSING DIVISION
PERMITTING CENTER
9400 PEPPERCORN PLACE, 1st FLOOR, LARGO, MD 20774

Project Name: UNIVERSITY PARK

Received From: _

Permit No: 19819-2020-0

Printed: 9/25/2020

<u>Fee Description</u>	<u>Fund</u>	<u>Account</u>	<u>Center</u>	<u>Fee Added By</u>	<u>Fee Amount</u>
PARK AND PLANNING	1000	420970	110031	DJKARZOUN	\$5.00
GRADING	5100	425150	154002	DJKARZOUN	\$42.00
DRIVEWAY PARKING PAD - RESIDENTIAL	1000	425120	168002	DJKARZOUN	\$94.50

The total sum of: \$141.50

PAID
SEP 25 2020

Received By:

Payment ID#:

Check Num:

Agenda Item 5B
Zhou Building Permit Application
3903 Underwood Street



Building Permit Application

◆ The Town of University Park ◆

An incorporated municipality in Prince George's County, Maryland
Town Hall, 6724 Baltimore Avenue, University Park, Maryland 20782
Phone: (301) 927-4262 Fax: (301) 277-4548 Email: townhall@upmd.org

For Office Use Only
 Ward # 6 Date Received: 10/14/20
 Permit Application: Approved | Rejected
 Check/Cash Amt: \$51.00
 Permit Number: _____
 Date Issued: _____

Name of Applicant(s): Jeff Zhou

Telephone Number: () _____ Home (202) 515-0800 Cell _____

Work: _____ Email: jeffxzhou@gmail.com

Street Address of Property: 3903 Underwood Street, University Park, MD 20782

Lot Number: 18 Block Number: 39 Section Number: _____

Person/Company Doing the Work: Jeff Zhou

Address/Phone: same as above

Signature of Property Owner: [Signature] Date: 10/14/2020

Description of Work

Check all that apply:

Fence: Height: _____, Material: _____, Style: _____

Outbuilding: Dimensions: _____, Height at Apex: _____
Materials: _____

Other: (Please Specify): Basement Window Upgrade
Dimensions: 32" x 46", Height at Apex: _____
Materials: Vinyl Glass

Please Specify Reason for Structure: Upgrade basement window to be 32' x 46" in size.

POD or Dumpster (check one) Unit will be placed on the property: _____ or on the street: _____

Dates the unit will be delivered: _____ picked up: _____

Permit and Non-Refundable Filing Fee Paid (\$10 + 10% of County permit fee (if applicable)) = \$ 51.00

Caution: To begin construction before a permit has been issued and prominently displayed for inspection at the construction site is a clear violation of municipal law.

3903 UNDERWOOD ST HYATTSVILLE 20782		CASH NUMBER: 25592-2020-00																																																	
PRINCE GEORGES COUNTY																																																			
PERMIT																																																			
ISSUANCE DATE: Aug-21-2020		EXPIRATION DATE:																																																	
DEPARTMENT OF PERMITTING, INSPECTIONS AND ENFORCEMENT PERMITTING CENTER 3400 PEPPERCORN PLACE, 1st FLOOR, LARGO, MD 20774 (301) 883-5900																																																			
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TYPE OF PERMIT: DPE R WORK DESCRIPTION: Upgrade two basement windows from 32"x28" to 32"x46" in size. Partition part of the basement with new walls. EXISTING USE: SFD USE (DER PROPOSED): SFD SUBDIVISION: UNIVERSITY PARK		<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td>OWNERSHIP:</td> <td>HEIGHT: FT</td> <td>7</td> <td rowspan="2" style="vertical-align: top;"> OCCUPANCY LOAD: 35K SITE OBSTACLES: STRUCTURE CHECK: SEWER: WSSC WATER: WSSC HEATING: PARCELS: </td> <td rowspan="2" style="vertical-align: top;"> FULL TRILITY CIRCUM AC UT VATOR FINEAL STOR BASEMENT ROOM KITCHEN CHIA DISTRIKAL SIGN NUMBER </td> </tr> <tr> <td>LIBER: 42943</td> <td>WIDTH: FT</td> <td>12</td> </tr> <tr> <td>FOLIO: 573</td> <td>DEPTH: FT</td> <td>26</td> <td></td> <td></td> </tr> <tr> <td>ED/ACCT NO: 19 / 2138549</td> <td>NO STORES</td> <td></td> <td></td> <td></td> </tr> <tr> <td>LOT: 18</td> <td>DWELL UNITS</td> <td></td> <td></td> <td></td> </tr> <tr> <td>BLOCK: 59</td> <td>PARKING SP</td> <td></td> <td></td> <td></td> </tr> <tr> <td>TAX MAP: 042</td> <td>LIVE LOAD</td> <td></td> <td></td> <td></td> </tr> <tr> <td>SCD</td> <td>USE GROUP</td> <td></td> <td></td> <td></td> </tr> <tr> <td>SPEC EXCEPT:</td> <td>TYPE CLASS</td> <td></td> <td></td> <td></td> </tr> <tr> <td colspan="5"> Conditions </td> </tr> </table>		OWNERSHIP:	HEIGHT: FT	7	OCCUPANCY LOAD: 35K SITE OBSTACLES: STRUCTURE CHECK: SEWER: WSSC WATER: WSSC HEATING: PARCELS:	FULL TRILITY CIRCUM AC UT VATOR FINEAL STOR BASEMENT ROOM KITCHEN CHIA DISTRIKAL SIGN NUMBER	LIBER: 42943	WIDTH: FT	12	FOLIO: 573	DEPTH: FT	26			ED/ACCT NO: 19 / 2138549	NO STORES				LOT: 18	DWELL UNITS				BLOCK: 59	PARKING SP				TAX MAP: 042	LIVE LOAD				SCD	USE GROUP				SPEC EXCEPT:	TYPE CLASS				Conditions				
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<p><i>As outlined in County Code Subtitle 4-111 no work shall be performed during the hours of 9:00 a.m. to 7:00 p.m., unless work is performed pursuant to Section 4-129 of this Subtitle.</i></p> <p><i>Only the Licensed Contractor or Homeowner, named on the Permit as contractor, is permitted to perform the scope of work on the permit at the address specified.</i></p> <p><i>YOU MUST COMPLY WITH MUNICIPAL, HOMEOWNERS/PTIC ASSOCIATION AND LOCAL COVENANTS. A FINE MAY BE IMPOSED IF CONSTRUCTION IS BEGUN WITHOUT NECESSARY APPROVALS.</i></p> <p>THIS PERMIT IS VOID SIX (6) MONTHS FROM DATE ISSUED IF CONSTRUCTION HAS NOT STARTED, HAS BEEN SUSPENDED OR DISCONTINUED UNLESS OTHERWISE INDICATED</p>																																																			
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BUILDING INSPECTOR	HEALTH	ELECTRICAL	PLUMBING	FIRE MARSHALL																																															
APPROVED																																																			

Melinda Bolling

[Permit](#)

[Inspection](#)

[ePayments](#)

Permit Status Tracking



* Permit Number : - -

Example: 1001 - 2013 - 00

* Enter the code shown below : [More Info](#)

1E1C6

Fields marked with an asterisk * are required.

[Track Permit Status](#)

Permit Details

Permit Number : **25592-2020-00**

Permit Name : **ZHOU INTERIOR**

Address : **3903 Underwood St.Town Of University Park Hyattsville, 20782**

Permit Type : **DPIE R**

Permit Use Type : **Single Family**

Work Description : **Upgrade two basement windows from 32"x28" to 32"x46" In size; Partition part of the basement with new walls to make two storage rooms; remodeling the basement bathroom.**

Date Applied : **Friday, June 26, 2020**

Permit Status : **PERMITTED**

Estimated Completion Date :

Permit Approval Process

Process Name	Assigned Date	Process Status	Completion Date	Completed	Additional Status
DPIE BUILDING INSPECTION	8/21/2020 3:56:40 PM	In Progress			On hold?
PERMIT ISSUANCE	8/20/2020 5:14:10 PM	Process Completed	8/21/2020 3:56:40 PM	Permit Issued	On hold?
EPLAN REVIEW	6/30/2020 10:20:52 AM	Process Completed	8/20/2020 5:14:10 PM	Eplan	On hold?
DPIE PERMIT APPLICATION	6/30/2020 10:20:15 AM	Process Completed	6/30/2020 10:20:52 AM	Eplan Application Complete	On hold?

[View Approval Process Graphically](#)

Location

9400 Pepperbark Place, Largo, Maryland 20774
[More building locations.](#)

[Permit](#) ▾

[Inspection](#) ▾

[ePayments](#) ▾

Permit ePayments (Single Case)



eCheck/ACH payments will incur a service fee of \$1.50.
Visa Consumer Debit Transactions will incur a service fee of \$3.95 (flat fee).
All other Credit & Debit card transactions will incur a service fee of 2.45% of the payment amount.

* Permit Number : - -

Example: 1001 - 2013 - 00

Fields marked with an asterisk * are required.

[Track Fee Status](#)

Permit Details:

Permit Number : **25592-2020-0**
 Permit Name : **ZHOU INTERIOR**
 Address : **3903 Underwood St.Town Of University Park Hyattsville, 20782**
 Permit Type : **DPIE R**
 Permit Use Type : **Single Family**
 Work Description : **Upgrade two basement windows from 32"x28" to 32"x46" in size; Partition part of the basement with new walls to make two storage rooms; remodeling the basement bathroom.**

Permit/Case Fees Details:

Select	Fees Description	Fee Date	TOTAL FEE	Status
	BASEMENT FINISHING	Jul 13, 2020	\$357.00	PAID
	REVISION 1	Jul 13, 2020	\$52.50	PAID

*Telephone Number:
 (111-111-1111)

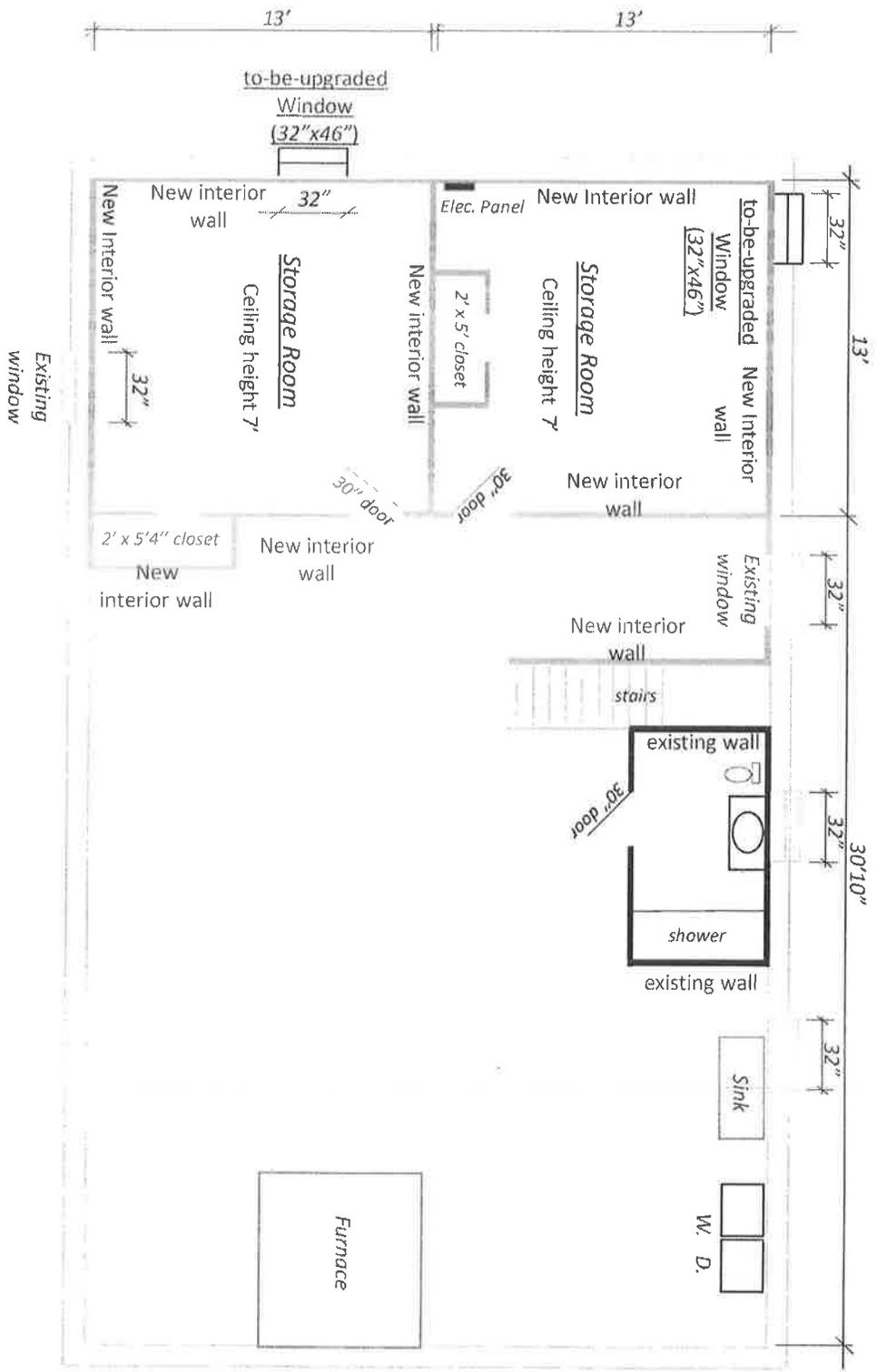
[Process Payment](#)

[Cancel Payment](#)

Location

9400 Peppercorn Place, Largo, Maryland 20774

[More building locations.](#)



Agenda Item 5C
Knights of Columbus Building Permit Application
7001 Forest Hill Drive



Building Permit Application

◆ The Town of University Park ◆

An incorporated municipality in Prince George's County, Maryland
Town Hall, 6724 Baltimore Avenue, University Park, Maryland 20782
Phone: (301) 927-4262 Fax: (301) 277-4548 Email: townhall@upmd.org

For Office Use Only
 Ward # 7 Date Received: 10/13/20
 Permit Application: Approved Rejected
 Check Cash Amt.: \$ 10.00
 Permit Number: _____
 Date Issued: _____

Name of Applicant(s): The Knights of Columbus

Telephone Number: (202) 635-5422 Home () _____ Cell _____

Work: _____ Email: k01@keen-dc.com

Street Address of Property: 7001 Forest Hills Drive, University Park, MD

Lot Number: 8-9 Block Number: 43 Section Number: _____

Person/Company Doing the Work: Garcete Construction Inc.

Address/Phone: 4321 Baltimore Avenue, Suite 101 Bladensburg, MD 20710 (301) 277-9285

Signature of Property Owner: Michael J. Connor Date: 10/7/2020
00C427E119854EA

Description of Work

Check all that apply:

Fence: Height: _____, Material: _____, Style: _____

Outbuilding: Dimensions: _____, Height at Apex: _____

Materials: _____

Other: (Please Specify): **Install a new Foundation Drain at garage to include bio retention rain garden system with a retention capacity of 100 gallons of water**

Dimensions: _____, Height at Apex: _____

Materials: _____

Please Specify Reason for Structure: _____

POD or Dumpster (check one) Unit will be placed on the property: _____ or on the street: _____

Dates the unit will be delivered: _____ picked up: _____

Permit and Non-Refundable Filing Fee Paid (\$10 + 10% of County permit fee (if applicable))= \$ 10.00

Caution: To begin construction before a permit has been issued and prominently displayed for inspection at the construction site is a clear violation of municipal law.

The plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing. The plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements. The plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.

The Maryland-National Capital Park and Planning Commission
The Maryland-National Capital Park and Planning Commission

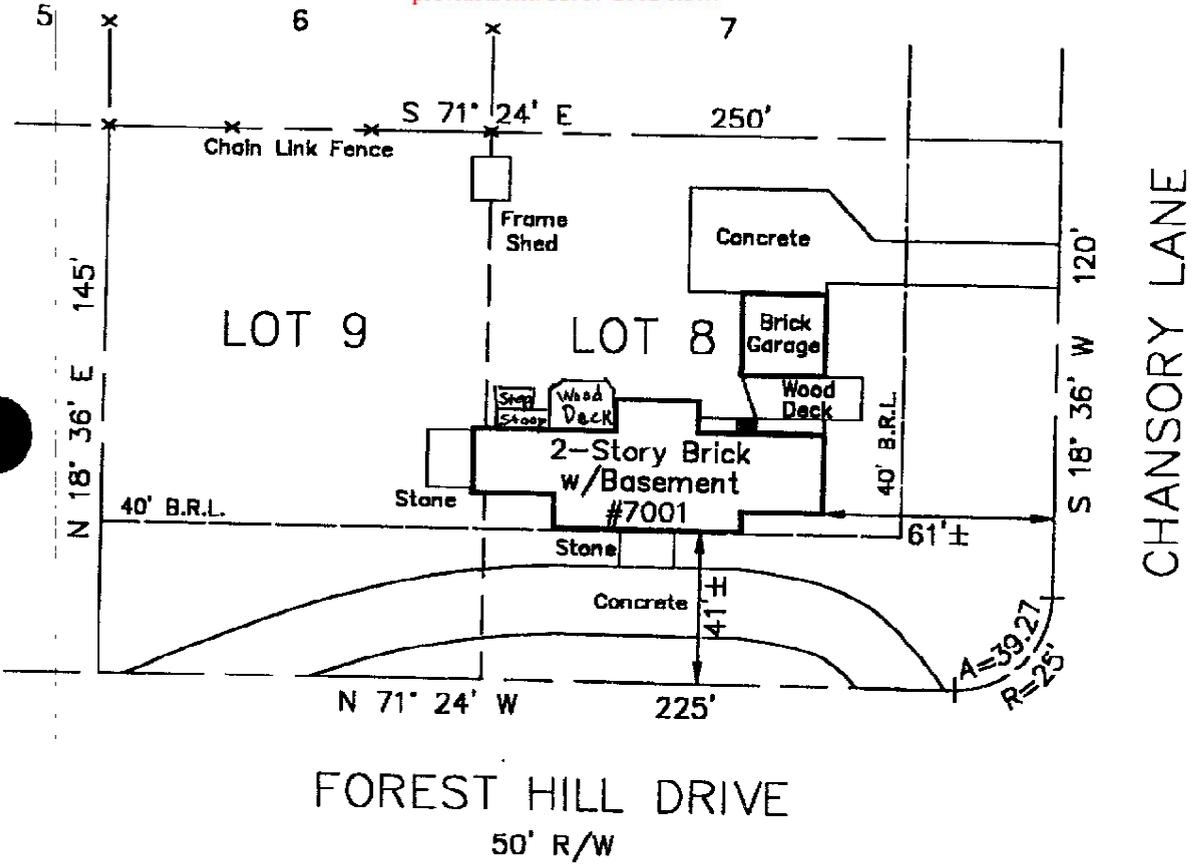
APPROVED: JTB 07-03/2020

PERMIT #: 59511-2019-CU

OK for interior fit-out and use converting a single-family home to a convent for up to 5 residents, per Zoning Verification Letter provided. Ref: 11959-2002-RGW.

NOTES:

- (1) The lot shown hereon does not lie within the limits of the 100 year flood plain as shown on FIRM Panel No. 25
Date of Map: 6-18-87
Flood Zone: 'C'
- (2) No property corners found or set unless otherwise noted.
- (3) The accuracy of this survey and the apparent setback distances is 2±



APPROVED
PERMIT # 11959-2020
11959-2002



SURVEYOR'S CERTIFICATE

I hereby certify that the property delineated hereon is in accordance with the plat of subdivision and/or deed of record, that the improvements were located by accepted field practices and include permanent visible structures and apparent encroachments, if any. This plat is NOT FOR DETERMINING PROPERTY LINES OR FOR CONSTRUCTION OF IMPROVEMENTS, but prepared for exclusive use of present owners of property and also those who purchase, mortgage, or guarantee the title thereto, within six months from date hereof, and as to them I warrant the accuracy of this plat.

Casimir M. Bazis
Casimir M. Bazis RPLS #5088

LOCATION DRAWING
LOTS 8 & 9 BLOCK 43
COLLEGE HEIGHTS-ESTATES
PRINCE GEORGE'S COUNTY, MARYLAND

THIS SURVEY IS FOR TITLE PURPOSES ONLY

JOB # 01.0272B	DATE 4-21-01
DRAFT BB	DRAFT DAB
	P.B. 16 P#68
	SCALE: 1" = 50'

R.C. KELLY & ASSOCIATES, INC.
ENGINEERS & SURVEYORS
10111 COLESVILLE ROAD, SUITE 133
SILVER SPRING, MARYLAND 20901
(301)563-8005 FAX (301)881-7216
E-MAIL: survey@rckelly.com

PRINCE GEORGE'S COUNTY

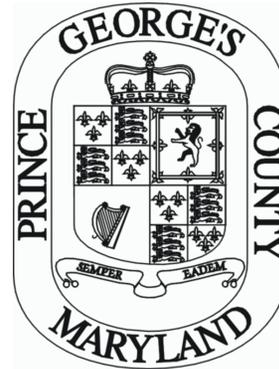
PERMIT

ISSUANCE DATE : Oct-09-2020

EXPIRATION DATE :

**DEPARTMENT OF PERMITTING, INSPECTIONS AND ENFORCEMENT PERMITTING CENTER
9400 PEPPERCORN PLACE, 1st FLOOR, LARGO, MD 20774 (301) 883-5900**

PROPERTY OWNER	
KNIGHTS OF COLUMBUS 1 COLUMBUS PLZ NEW HAVEN, CT 06510	(202) 635-5422



CONTRACTOR	
GARCETE CONSTRUCTION 4321 BALTIMORE AVE Bladensburg, MD 20710 LICENSE NUMBER:	# 101 (301) 277-9285

OCCUPANT	
CONGREGATION OF THE SISTERS OF OUR LADY OF MERCY 7001 FOREST HILL DR UNIVERSITY PARK, MD 20782	(202) 635-5473

ARCHITECT	
BELL ARCHITECTS 1228 9TH NW ST WASHINGTON, DC 20001	(202) 548-7570

TYPE OF PERMIT : **DPIE CU**
 WORK DESCRIPTION : **Interior fit-out and use converting a single-family home to a convent for up to 5 residents, per Zoning Verification**
 EXISTING USE : **SFD**
 USE (MNCPPC ZONING) : **CONVENT**
 SUBDIVISION : **COLLEGE HEIGHTS ESTATES-PLAT**

OWNERSHIP :	HEIGHT FT :	36			
LIBER : 42145	WIDTH FT :	92			
FOLIO : 321	DEPTH FT :	34			
ED/ACCT NO. : 19 / 2166866	NO STORIES :		OCCUPANCY LOAD :	2020	
LOT :	DWELL UNTS :		SITE CERTIFICATE :		
BLOCK : 43	PARKING SP :	0	STRUCTURE CERT :		
TAX MAP : 033	LIVE LOAD :		SEWER :	WSSC	
SCD :	USE GROUP :	R-3	WATER :	WSSC	
SPEC EXCEPT :	TYPE CONST :	3B	HEATING :		
			PARCEL :		

ELECTRICITY :
 CENTRAL A/C :
 ELEVATOR :
 ESCALATOR :
 BASEMENT :
 BOILER NUMBER :
 CBCA : N
 HISTORICAL : N
 SIGN NUMBER :

Conditions

As outlined in County Code Subtitle 4-111 no work shall be performed during the hours of 9:00 p.m. to 7:00 a.m., unless work is performed pursuant to Section 4-120 of this Subtitle.

Only the Licensed Contractor or Homeowner, named on the Permit as contractor, is permitted to perform the scope of work on the permit at the address specified.

YOU MUST COMPLY WITH MUNICIPAL, HOMEOWNER/CIVIC ASSOCIATION AND LOCAL COVENANTS. A FINE MAY BE IMPOSED IF CONSTRUCTION IS BEGUN WITHOUT REQUIRED APPROVALS.

THIS PERMIT IS VOID SIX (6) MONTHS FROM DATE ISSUED IF CONSTRUCTION HAS NOT STARTED, HAS BEEN SUSPENDED OR DISCONTINUED UNLESS OTHERWISE INDICATED

Melinda Bolling

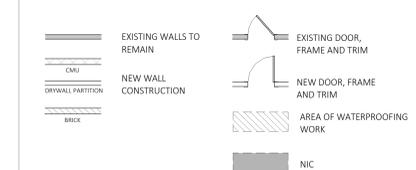
INSPECTION AREA :

INSPECTION APPROVALS

Melinda Bolling

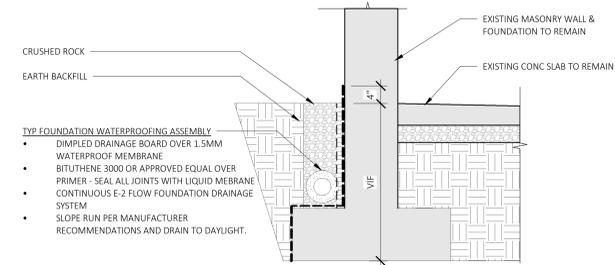
BUILDING INSPECTOR	HEALTH	ELECTRICAL	PLUMBING	FIRE MARSHALL
APPROVED :				

FLOOR PLAN LEGEND



GENERAL PLAN NOTES

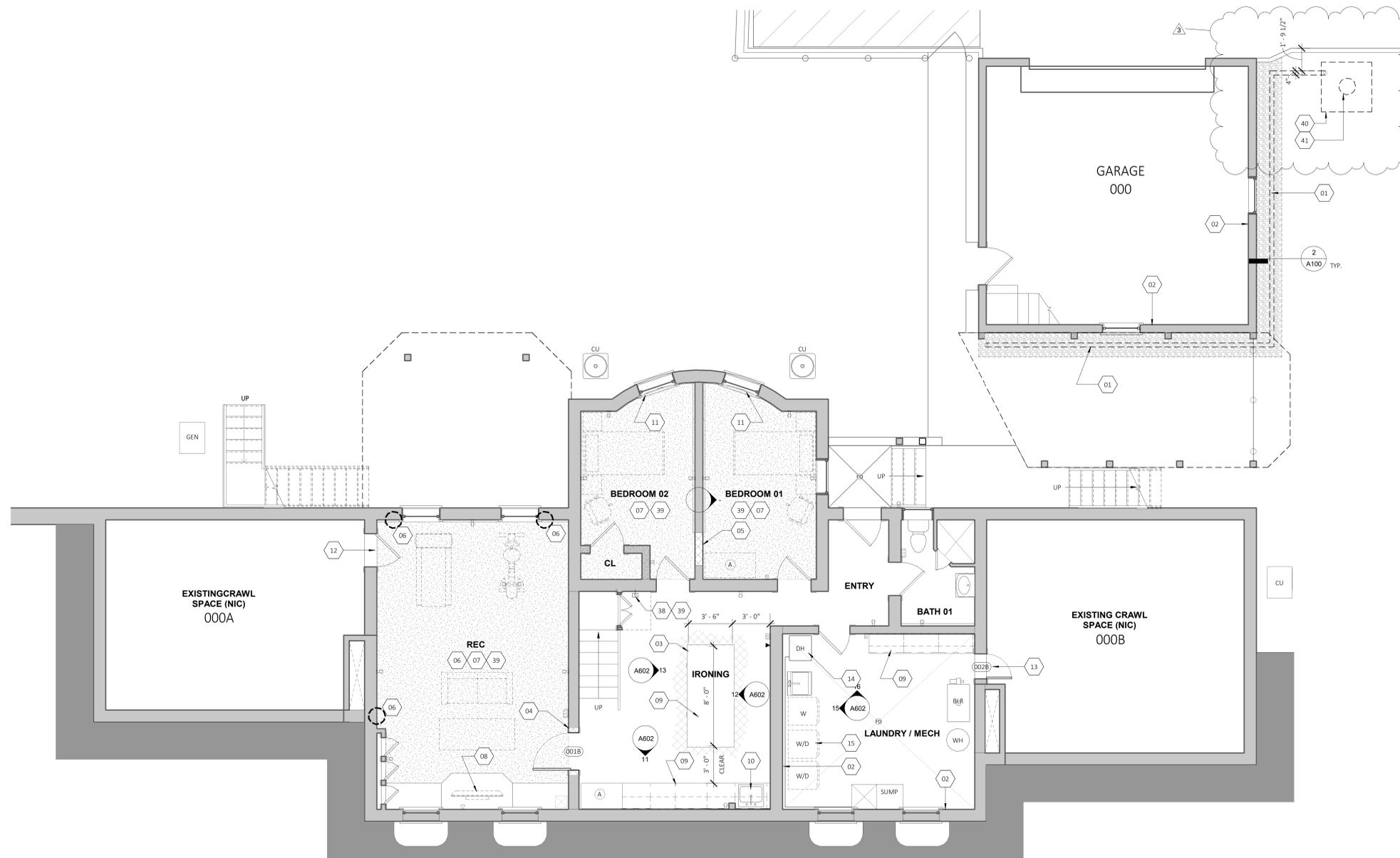
- REFER TO SHEET G001 FOR GENERAL NOTES, ABBREVIATIONS, AND SYMBOL LEGEND.
- FURNITURE PROVIDED BY THE OWNER IS INDICATED WITH DASHED LINES.
- SCHEDULE MEETING WITH ARCHITECT AND OWNER REP PRIOR TO CLOSING IN WALLS.
- PROVIDE PROTECTION TO ALL EXISTING FINISHES & CONSTRUCTION IN SPACES WITHIN OR ADJACENT TO THE AREA OF WORK.
- PROVIDE TEMPORARY BARRIERS AROUND OPENINGS TO AND FROM THE CONSTRUCTION AREA. PROVIDE ALL MEANS NECESSARY TO INHIBIT DUST FROM ENTERING OTHER PORTIONS OF THE RESIDENCE.
- SEAL EXIST. HVAC SUPPLY & RETURN DIFFUSERS DURING DRYWALL SANDING IN AREAS OF WORK.
- REPLACE HVAC FURNACE FILTERS MONTHLY THROUGHOUT CONSTRUCTION.
- PATCH & REPAIR ANY DAMAGE CAUSED BY THE WORK AND REFINISH AS SHOWN IN DRAWINGS OR AS DIRECTED BY ARCHITECT.
- AFTER DEMOLITION OF MATERIALS, FURNITURE, CASEWORK, EQUIPMENT, ACCESSORIES, AND OTHER MISCELLANEOUS ITEMS, THE RESULTING EXPOSED, FINISHED SURFACE SHALL BE MADE SMOOTH AND FLUSH WITH THE ADJACENT EXISTING FINISHES. PREPARE SURFACE FOR NEW CONSTRUCTION/FINISHES. LEAVE THE WORK IN A WATERTIGHT CONDITION AT THE END OF EACH WORK DAY. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO THE BUILDING AND ITS CONTENTS AS A RESULT OF WATER DAMAGE.
- CONCRETE SLAB SHALL BE PROPERLY PREPARED FOR NEW FINISHES. PROVIDE LEVELING COMPOUND AS NECESSARY FOR SMOOTH TRANSITIONS.
- PROVIDE TRANSITION STRIPS OF MATCHING FINISH AT ALL FLOOR FINISH TRANSITIONS.
- FIRESAFE ALL PENETRATIONS THROUGH RATED WALLS AND CEILINGS.
- PROVIDE FIRE TREATED WOOD BLOCKING IN WALLS AS REQUIRED. ITEMS REQUIRING BLOCKING INCLUDE, BUT NOT TO LIMITED TO:
 - WALL MOUNTED APPLIANCES
 - WALL MOUNTED PLUMBING FIXTURES
 - WALL MOUNTED BATHROOM ACCESSORIES
 - WALL MOUNTED CABINETS
 - WALL MOUNTED SHELVING
 - WALL MOUNTED ACCESSORIES
 - FIRE EXTINGUISHERS



2 TYP FOUNDATION DRAIN DETAIL
A100 3/4" = 1'-0"

KEYNOTE LEGEND

- INSTALL PERIMETER DRAIN PIPE. SLOPE RUN PER MANUFACTURER RECOMMENDATIONS AND DRAIN TO UNDERGROUND RETENTION/DRAINAGE STRUCTURE.
- CLEAN INTERIOR WALL TO REMOVE MOLD & MILDW. FINISH WITH DRYLOCK MASONRY WATERPROOFER & PAINT.
- PATCH & REPAIR FLOOR TILES. (FINISH TO MATCH EXISTING) REMOVE ALL CUT OR PARTIAL TILE AND REPLACE WITH WHOLE FULL TILES.
- ALIGN FINISHES OF NEW WALL INFILL (PRIME & PAINT)
- INFILL EXISTING OPENING, ADD NEW DOOR WHERE INDICATED OR MATCH ADJACENT WALL CONSTRUCTION & TRIM. ALIGN FINISHES (PAINT)
- PATCH EXISTING HOLES IN WALLS. MATCH ADJACENT WALL FINISH
- INSTALL NEW FLOOR FINISH - SEE ROOM FINISH SCHEDULE FOR TYPE.
- RELOCATE TV & REMOVE WALL MOUNT.
- PROVIDE MILLWORK / CASEWORK. REFER TO INTERIOR ELEVATIONS FOR UNIT SIZES AND FINISHES. REINSTALL SALVAGED PLUMBING FIXTURE.
- PROVIDE WOOD BASEBOARD TO MATCH EXISTING (PAINT).
- EXISTING ACCESS DOOR TO REMAIN. REVISE DOOR PANEL TO INSTALL ONE-SIDED DEADBOLT (SCHLAGE #B581626 OR APPROVED EQUAL).
- PROVIDE PIANO HINGED ACCESS DOOR WITH INSTALL ONE-SIDED DEADBOLT (SCHLAGE #B581626 OR APPROVED EQUAL).
- REINSTALL SALVAGED DEHUMIDIFIER & DUCT. PROVIDE NEW CONDENSATE LINE & ROUTE BEHIND APPLIANCES TO EXISTING SLUMP.
- WASHER & DRYER APPLIANCES (PROVIDED BY OWNER & SALVAGED) - SEE MECH DWGS FOR DRYER EXHAUST.
- FIRE EXTINGUISHER
- PAINT ALL WALLS, WINDOWS, CEILING, BASEBOARD HEATERS AND TRIM, UNLESS OTHERWISE NOTED. DO NOT PAINT THE TILE WALLS, WAINSCOTT OR WOODS PANELING THAT ARE CURRENTLY STAINED.
- UNDERGROUND RETENTION/DRAINAGE STRUCTURE (4'-0" X 4'-0")
- UNDERGROUND RETENTION/DRAINAGE STRUCTURE MAINTENANCE ACCESS (16" DIA.)



1 BASEMENT FLOOR PLAN - NEW WORK
A100 1/4" = 1'-0"

APPROVALS



1228 9th street, nw washington dc 20001
tel: 202.548.7570
www.bellarchitects.com

CLIENT:
KNIGHTS OF COLUMBUS CHARITIES
1 COLUMBUS PLAZA
NEW HAVEN, CT 06510
TEL: 203.752.4000

OWNER REPRESENTATIVE:
KEEN DC
9039 SLIGO CREEK PARKWAY #212
SILVER SPRING, MD 20901-3301
TEL: 202.288.0797

MEP ENGINEER:
FRIEDMAN ENGINEERING
615 SOUTH STONE STREET AVENUE
ROCKVILLE, MD 20850
TEL: 301-298.5070

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED AND APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE # - 13815
EXPIRATION DATE - 28 MARCH 2022



3	Rev 3	10/12/20
1	Rev 1	1/24/20

NO. DESCRIPTION DATE

CLIENT
KNIGHTS OF COLUMBUS CHARITIES
ONE COLUMBUS PLAZA
NEW HAVEN, CT 06510

PROJECT
PRIVATE CONVENT RENOVATION PROJECT
7001 FOREST HILL DRIVE
UNIVERSITY PARK, MD 20782

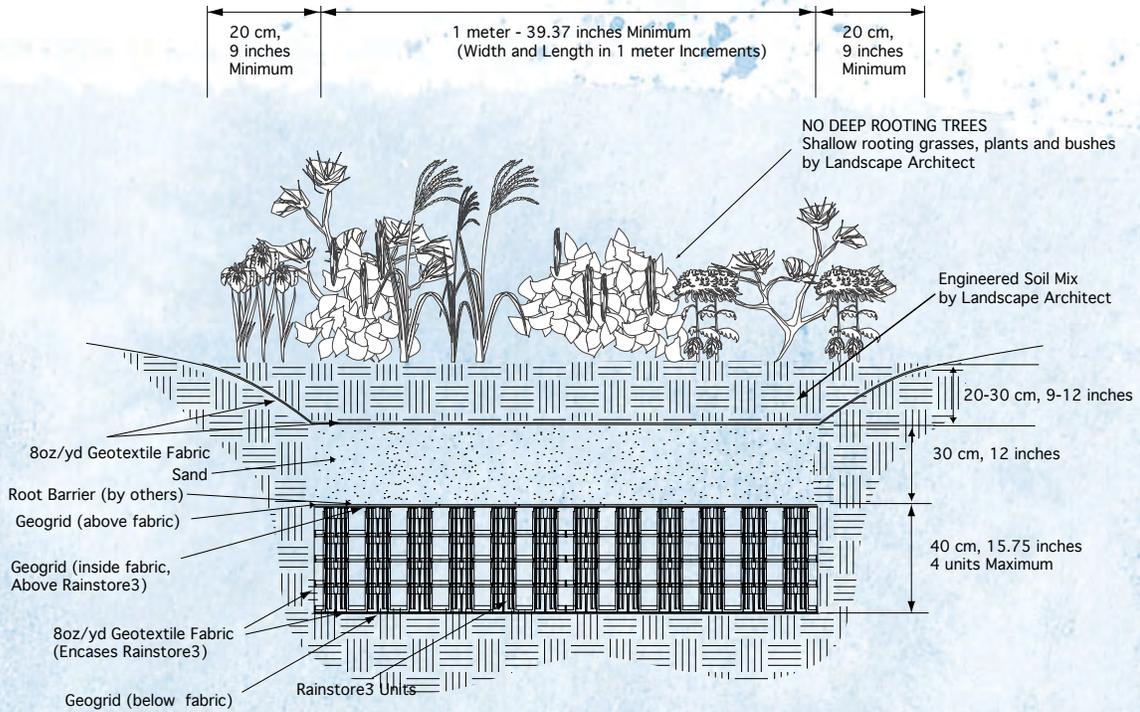
SHEET TITLE
BASEMENT FLOOR PLAN

SHEET INFORMATION
DATE: 1/8/2020 JOB#: 192-011-2019
DRAWN: OBW CHECKED: DBB
SCALE: As indicated BLDG: 7001FH

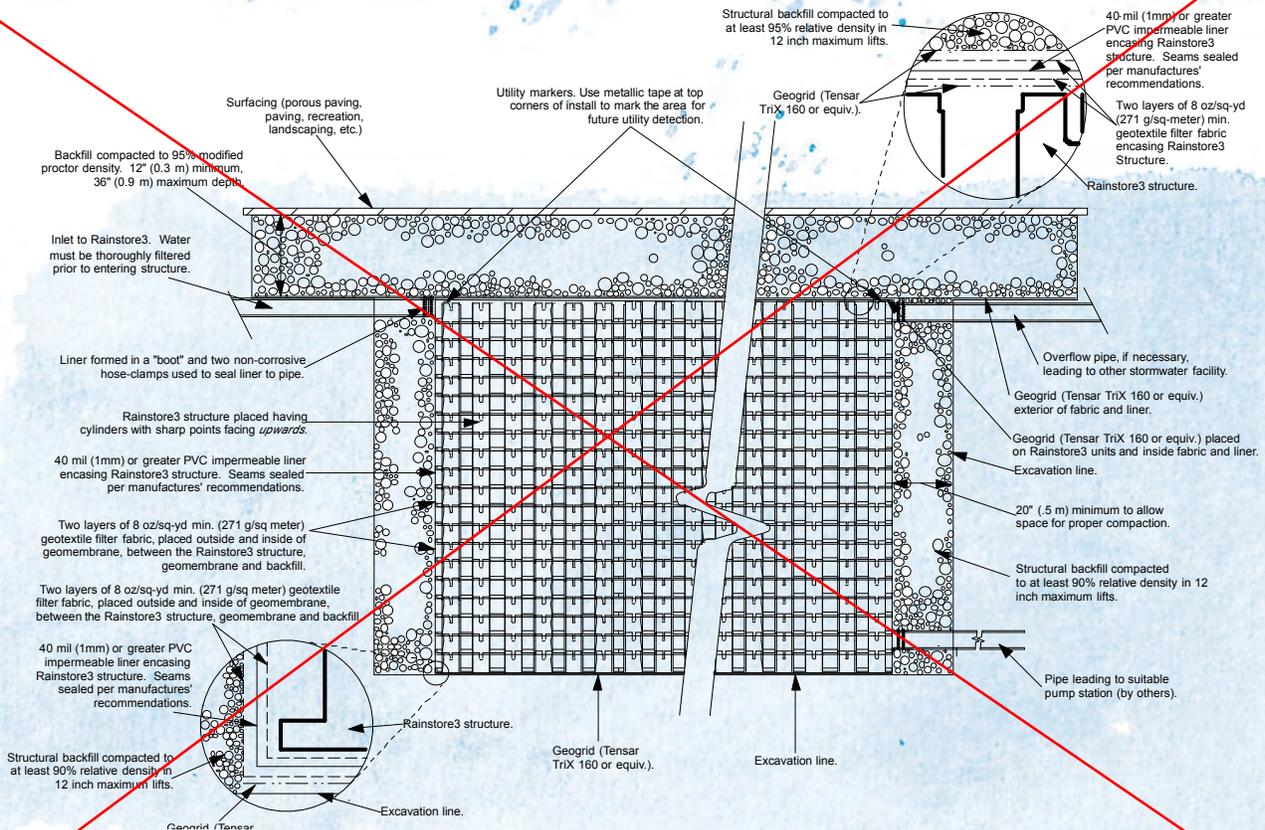
SHEET NUMBER

A100

DESIGN DETAILS



Rainstore³ Bio-Retention Rain Garden System
Rain Garden Design for Water Quality Improvement through Infiltration and Bioremediation



Rainstore³ Water Harvest
Long term water storage for irrigation, fire-protection, toilet flushing and others

Underground "tank" storage for stormwater.

PRODUCT DESCRIPTION

Basic Structure

Rainstore3 is a structure of thin-walled cylindrical columns injection molded of recycled resins of either high impact polypropylene (HIPP), or high density polyethylene (HDPE) plastic for strength, durability, and green industry benefit. For potable water storage, virgin plastic is used. Cylinders are 10cm (4") diameter, 5mm(0.2") average wall thickness, 10 cm (4") tall, and spaced 16.7 cm (4.6") apart. T-shaped beams connect the cylinders and resist external lateral soil/water pressure.

Compression fittings between layers create a rigid structure for ease of transport and installation. Four archway openings in the bottom of each cylinder allow water to move freely throughout assembled columns. A single Rainstore³

injection molded unit is comprised of 36 cylindrical columns that occupy one square meter (40" x 40" x 4"). A stack of 10 units will comprise one cubic meter (35.31 cubic feet), with approximately 250 gallons of net water storage.

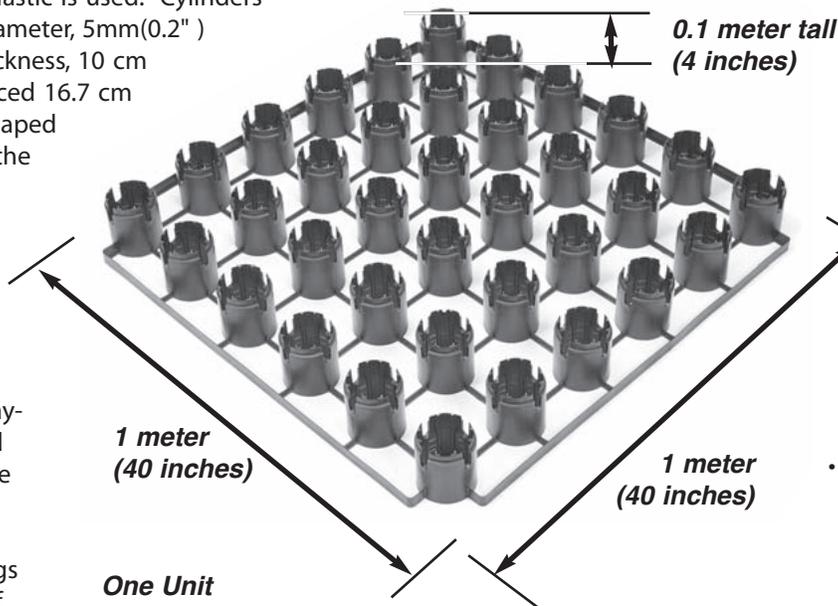
RS3 allows for water containment depths from 10 cm to 2.4 meters (4" to 94" or 7.9'). Standard depths of 0.5 m (1.6'), 1 m (3.2'), 1.5 m (4.9'), and 2 m (6.6') are stocked and custom depths are also available. Side bumpers provide foolproof, accurate spacing. Structures may be moved by hand cart. A level compacted gravel base will insure proper alignment. RS3 withstands repeated freeze-thaw cycles, will not rust, break down, crack, is not affected by chemicals, extremes of pH, oils, salts, or fertilizers. Ethylene plastics have a projected service life in excess of 100 years provided they are not exposed to UV light.

Applications Include:

- Subsurface Water Storage--Detention, Retention
- Water Reuse and Recycling
- Process Water Storage--Heating and Cooling
- Combined Water Conveyance and Storage
- Energy Dissipation at Pipe Outfall
- Septic Leach Fields and Wetlands Treatment
- Dry Wells, Wet Vaults, and Cisterns

Benefits Include:

- Heavy Load Capacity Above Chamber
- Maximum Excavation to Storage Efficiency
- 94% Void Space
- Large Surface Area for Rapid Exfiltration
- Simple and Low Cost Liner Materials
- Modular for Design Flexibility
- Rapid Installation



One Unit
Volume = 0.1 cubic meter
(3.531 cubic feet)
25 gallons of net water storage
Weight = 14.0 pounds (30.87 kilograms)

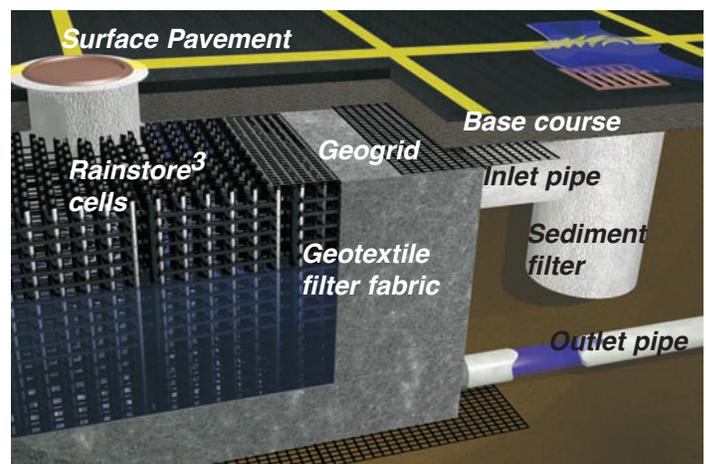


INVISIBLE STRUCTURES™

Invisible Structures, Inc.

303-233-8383

www.invisiblestructures.com



Agenda Item 5D
Monroe Building Permit Application
4103 Woodberry Street

NOTE: We are transitioning to a new online permitting and licensing system called Momentum. The new system will be in place on October 13, 2020. As part of our transition, you will **no longer** have access to this My Permit/License page for **Short-Term Rental (Host), Short-Term Rental (Platform) and Single Family Rental applications**. Starting October 13, you will be able to access these licenses in the new Momentum Licensing module <https://momentum.princegeorgescountymd.gov> with the same email address you used to login to the My Permit/License page. If you have any questions, please contact dpierentallicenses@co.pg.md.us

My Permits/Licenses

Case Number	Filter By CaseType: - ALL CaseTypes -	Application Date	Filter By Status: - ALL Statuses -	Fees	Pay	Print/View
39639-2020-0	Case Name : MONROE DECK DPIE R	09/21/20	PERMITTED	Total : \$167.75 Pending : \$0.00		

You are viewing page 1 of 1

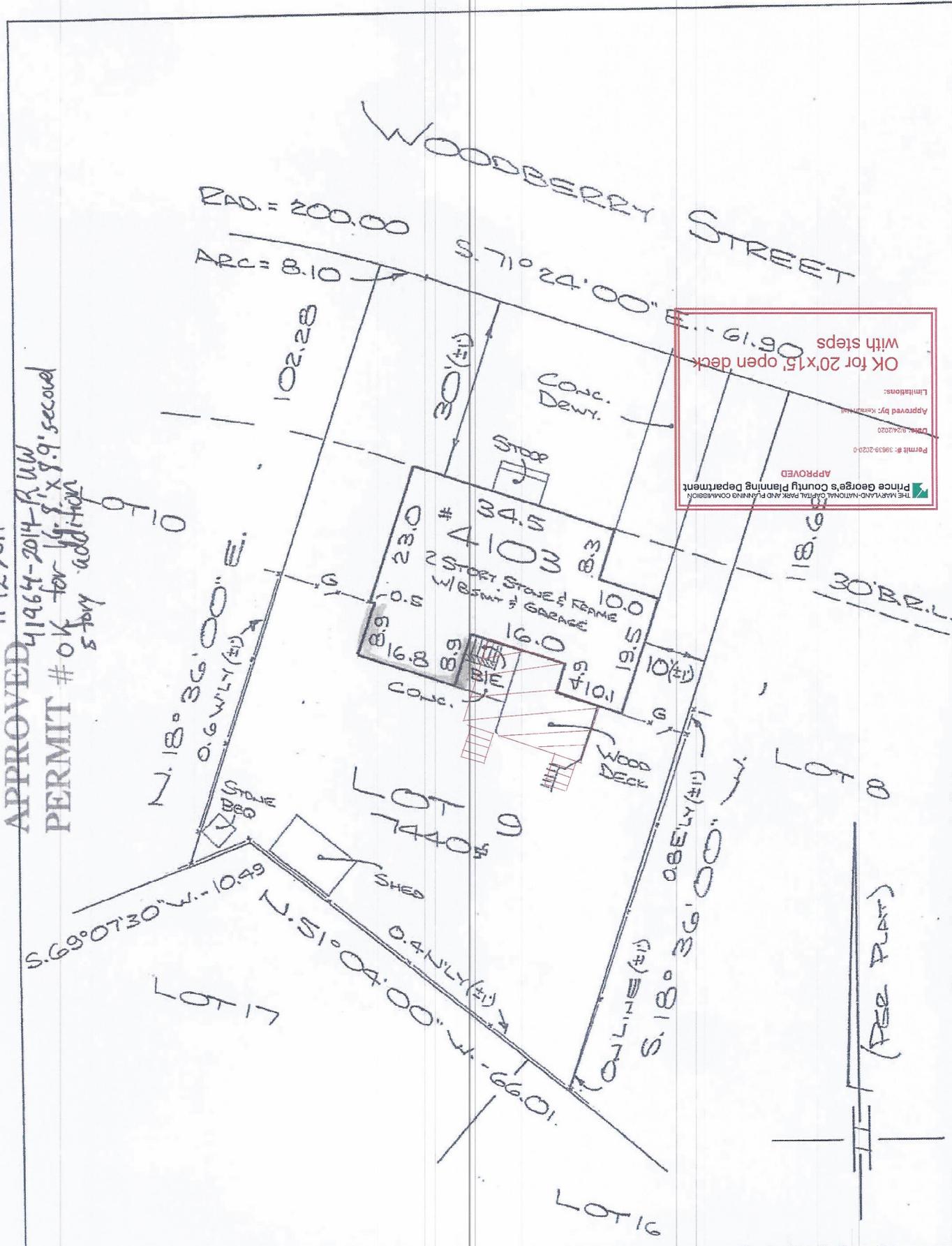
Enter text to search:

Location

9400 Peppercorn Place, Largo, Maryland 20774
[More building locations.](#)

The Maryland-National Capital Park and Planning Commission

APPROVED 11-12-2017
41964-2014-R.UW
PERMIT # OK for 1st story addition



APPROVED
Price George's County Planning Department
Permit #: 38539-2020
Date: 07/27/20
Approved by: Kenneth
Limitations:
OK for 20'x15' open deck
With steps

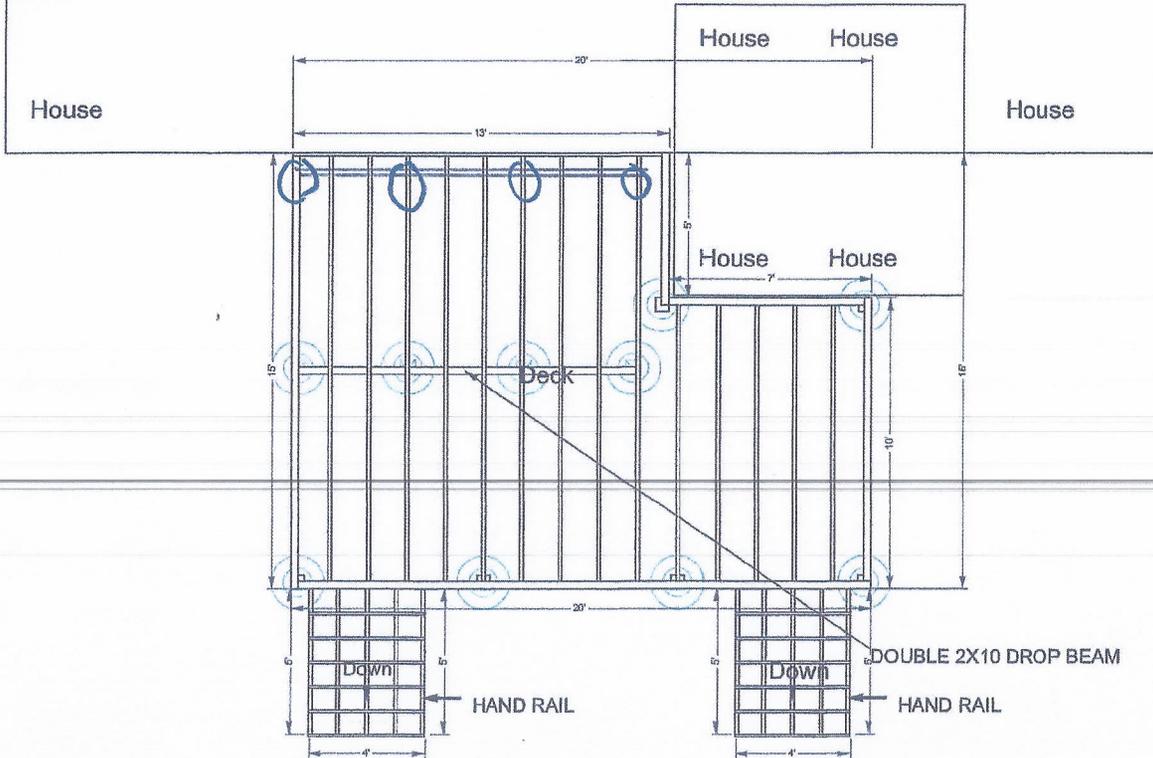


SCALE: 1/4" = 1' WHEN PRINTED ON 11X17 PAPER

BASED ON THE INTERNATIONAL RESIDENTIAL CODE

STAIRWAY ILLUMINATION: ALL EXTERIOR STAIRWAYS SHALL BE ILLUMINATED AT THE TOP LANDING TO THE STAIRWAY. ILLUMINATION SHALL BE CONTROLLED FROM INSIDE THE DWELLING OR AUTOMATICALLY ACTIVATED.

DISCLAIMER: THIS PLAN IS NOT CONSIDERED COMPLETE UNLESS APPROVED BY YOUR BUILDING INSPECTOR OR STRUCTURAL ENGINEER. BUILDER ACCEPTS ALL RESPONSIBILITY AND LIABILITY. DECKS.COM LLC AND ASSOCIATED SPONSORS ACCEPT NO LIABILITY FOR THE USE OF THIS PLAN.



2x10 Ledger Board to be flashed and bolted (2) 1/2" bolts with washers or equivalent every 16" on center. (See ledger detail in deck construction guide)
 Joists to be 2x10 pressure treated southern yellow pine nailed 16" on center.
 Beams to be 2x2x10 pressure treated southern yellow pine nailed.
 Guard Rails to be 36" high with less than 4" openings per IRC code. (See rail detail in deck construction guide)
 Stairs to be built max rise 7-3/4" min rise 4" in run 10" per IRC code. (See stair detail in deck construction guide)
 Decking to be 5/4x6 Pressure Treated Pine. (Follow manufacturers' installation instructions)
 All hardware to be corrosion resistant and installed per manufacturers' instructions.



 Total Depth: 48
 Base Diameter: 22
 Pier Diameter: 12

Footings to be installed to 48" depth as is required by your local building ordinance.
 Frost footing sizes based on 55 lbs per square foot tributary loads applied to 1500 psi soil compression capacity (assumed clay soil).
 See footing detail in deck construction guide.

Prince George's County, Maryland
 Department of Permitting, Inspections and Enforcement
 APPROVED PERMIT SET
 The Department of Permitting, Inspections and Enforcement has completed a review of this document for code compliance. As required by State Code, the design professional(s) responsible for the preparation and content of this document must provide a record copy of these documents with their original seal, signature and date.
 Case Name: MONROE DECK
 Case Number (Permit #): 39639-2020-0
 License Date: 10/20/20
 Address: 4103 WOODBERRY ST HYATTEVILLE, Maryland 20782
 Lot(s), Block(s) and Parcel(s): Lot 5 and Block 31



DISCLAIMER: ONLY USE #2 OR BETTER PRESSURE TREATED SOUTHERN PINE 2X10 FOR FRAMING MATERIALS. NEVER SUBSTITUTE SOFTWOODS OR COMPOSITE FOR FRAMING MATERIALS.

DISCLAIMER: THIS PLAN IS NOT CONSIDERED COMPLETE UNLESS APPROVED BY YOUR BUILDING INSPECTOR OR STRUCTURAL ENGINEER. BUILDER ACCEPTS ALL RESPONSIBILITY AND LIABILITY. DECKS.COM LLC AND ASSOCIATED SPONSORS ACCEPT NO LIABILITY FOR THE USE OF THIS PLAN. © DECKS.COM LLC

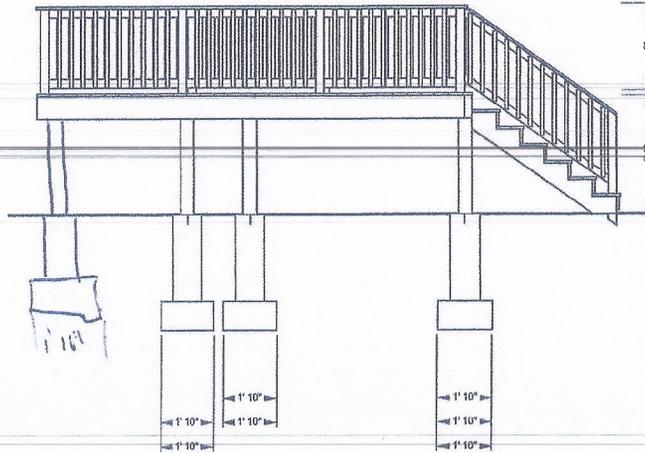


SCALE: 1/4" = 1' WHEN PRINTED ON 11X17 PAPER

BASED ON THE INTERNATIONAL RESIDENTIAL CODE

STAIRWAY ILLUMINATION: ALL EXTERIOR STAIRWAYS SHALL BE ILLUMINATED AT THE TOP LANDING TO THE STAIRWAY. ILLUMINATION SHALL BE CONTROLLED FROM INSIDE THE DWELLING OR AUTOMATICALLY ACTIVATED.

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Guard Rails to be 36" high with less than 4" openings per IRC code. (See rail detail in deck construction guide)
Stairs to be built max rise 7-3/4" min rise 4" in run 10" per IRC code. (See stair detail in deck construction guide)
Decking to be 5/4x6 Pressure Treated Pine. (Follow manufacturers' installation instructions)
All hardware to be corrosion resistant and installed per manufacturers' instructions.

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Prince George's County, Maryland
Department of Permitting, Inspections and Enforcement
APPROVED PERMIT SET
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Case Name: MONROE DECK
Case Number (Permit #): 39639-2020-0
Insurance Date: 10/29/20
Address: 4163 WOODBERRY ST HYATTSVILLE, Maryland 20782
Lot(s), Block(s) and Parcel(s): 1 of 9 and Block 31
DPIE logo

DISCLAIMER: ONLY USE #2 OR BETTER PRESSURE TREATED SOUTHERN PINE 2X10 FOR FRAMING MATERIALS. NEVER SUBSTITUTE SOFTWOODS OR COMPOSITE FOR FRAMING MATERIALS.



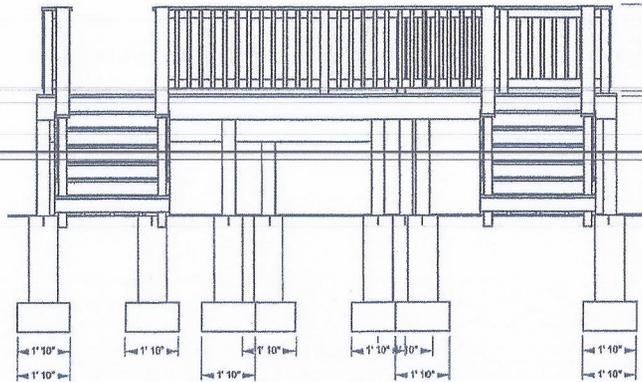


SCALE: 1/4" = 1' WHEN PRINTED ON 11X17 PAPER

BASED ON THE INTERNATIONAL RESIDENTIAL CODE

STAIRWAY ILLUMINATION: ALL EXTERIOR STAIRWAYS SHALL BE ILLUMINATED AT THE TOP LANDING TO THE STAIRWAY. ILLUMINATION SHALL BE CONTROLLED FROM INSIDE THE DWELLING OR AUTOMATICALLY ACTIVATED.

DISCLAIMER: THIS PLAN IS NOT CONSIDERED COMPLETE UNLESS APPROVED BY YOUR BUILDING INSPECTOR OR STRUCTURAL ENGINEER. BUILDER ACCEPTS ALL RESPONSIBILITY AND LIABILITY. DECKS.COM LLC AND ASSOCIATED SPONSORS ACCEPT NO LIABILITY FOR THE USE OF THIS PLAN.



2x10 Ledger Board to be flashed and bolted (2) 1/2" bolts with washers or equivalent every 16" on center. (See ledger detail in deck construction guide)
Joists to be 2x10 pressure treated southern yellow pine installed 16" on center.
Beams to be 2x2x10 pressure treated southern yellow pine nailed.
Guard Rails to be 36" high with less than 4" openings per IRC code. (See rail detail in deck construction guide)
Stairs to be built max rise 7.34" min rise 4" in run 10" per IRC code. (See stair detail in deck construction guide)
Decking to be 5/4x6 Pressure Treated Pine. (Follow manufacturers' installation instructions)
All hardware to be corrosion resistant and installed per manufacturers' instructions.

Prince George's County, Maryland
Department of Permitting, Inspections and Enforcement
APPROVED PERMIT SET
The Department of Permitting, Inspections and Enforcement has completed a review of this document for code compliance. As required by State Code, the design professional(s) responsible for the preparation and content of this document must provide a second copy of these documents with their original seal, signature and date.
Case Name: MONROE DECK
Case Number (Permit #: 39639-2020-0)
Address: 4183 WOODBERRY ST HAVRTSVILLE, Maryland 21042
Lot(s), Block(s) and Parcel(s): Lot 9 and Block 31
DPIE logo

DISCLAIMER: ONLY USE #2 OR BETTER PRESSURE TREATED SOUTHERN PINE 2X10 FOR FRAMING MATERIALS. NEVER SUBSTITUTE SOFTWOODS OR COMPOSITE FOR FRAMING MATERIALS.

DISCLAIMER: THIS PLAN IS NOT CONSIDERED COMPLETE UNLESS APPROVED BY YOUR BUILDING INSPECTOR OR STRUCTURAL ENGINEER. BUILDER ACCEPTS ALL RESPONSIBILITY AND LIABILITY. DECKS.COM LLC AND ASSOCIATED SPONSORS ACCEPT NO LIABILITY FOR THE USE OF THIS PLAN. © DECKS.COM LLC

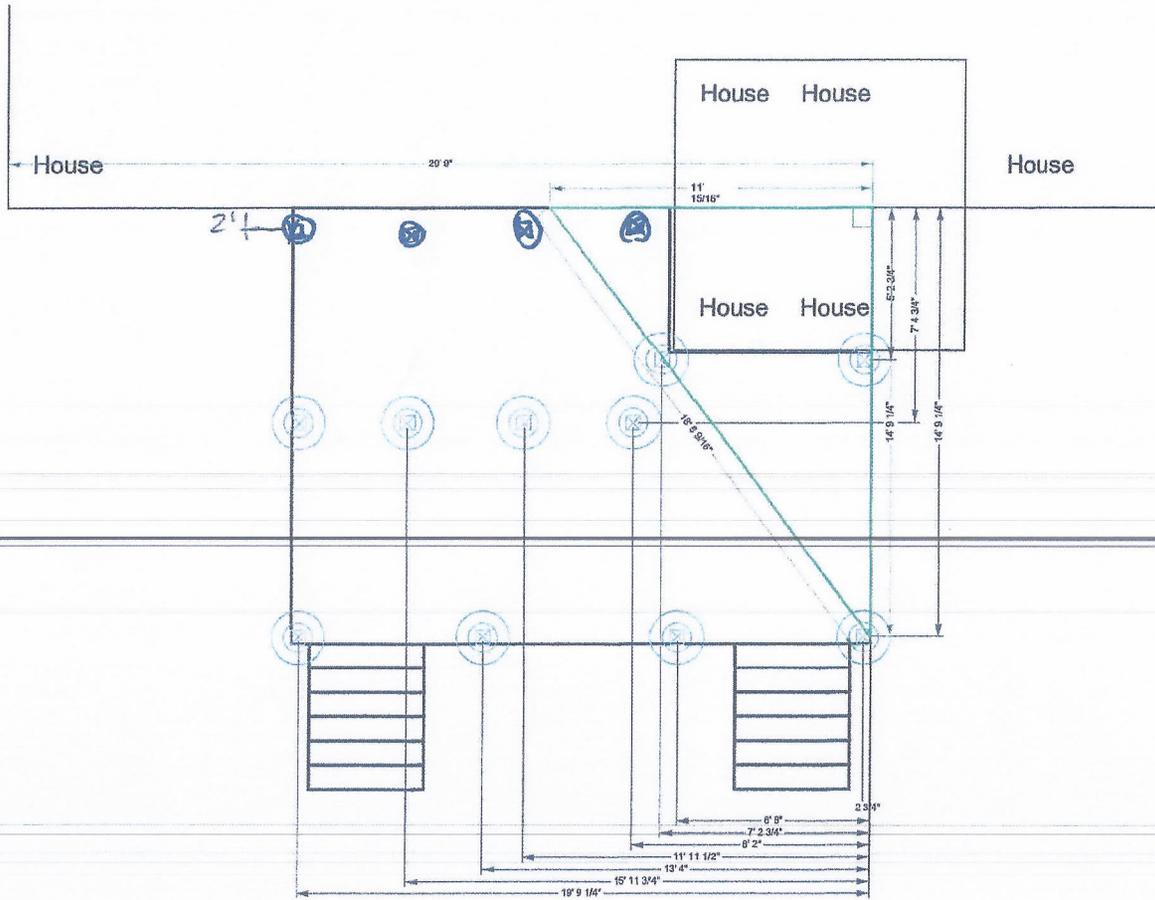




SCALE: 1/4" = 1' WHEN PRINTED ON 11X17 PAPER

BASED ON THE INTERNATIONAL RESIDENTIAL CODE

STAIR FOOTING REQUIREMENTS
WHERE THE STAIRWAY MEETS GRADE, ATTACH THE STAIR STRINGERS TO THE STAIR GUARD RAIL POSTS. POSTS SHALL BEAR ON FOOTINGS



Footings to be installed to 48" depth as is required by your local building ordinance.
Frost footing sizes based on 55 lbs per square foot tributary loads applied to 1500 psi soil compression capacity (assumed clay soil).
See footing detail in deck construction guide.

 Total Depth: 48
Base Diameter: 22
Pier Diameter: 12

Footings to be installed to 48" depth as is required by your local building ordinance.
Frost footing sizes based on 55 lbs per square foot tributary loads applied to 1500 psi soil compression capacity (assumed clay soil).
See footing detail in deck construction guide.

Prince George's County, Maryland
Department of Permitting, Inspections and Enforcement

APPROVED PERMIT SET

The Department of Permitting, Inspections and Enforcement has completed a review of this document for code compliance. As required by State Code, the design professional(s) responsible for the preparation and content of this document must provide a record copy of these documents with their original seal, signature and date.

Case Name: MONRGE DECK
Case Number (Permit #): 35639-2020-6
Issuance Date: 02/09/2020

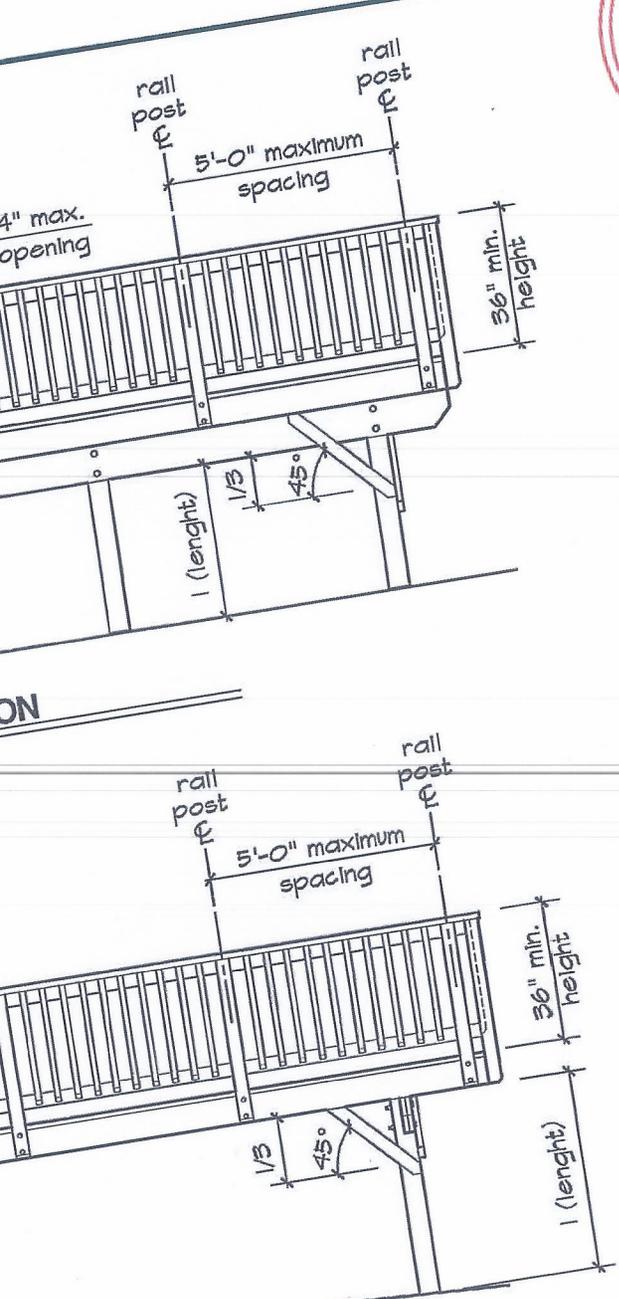
Address: 4105 WOODSBERRY ST HYATTSVILLE, Maryland 20782
Lot(s), Block(s) and Parcel(s): 1 of 9 and Block 31



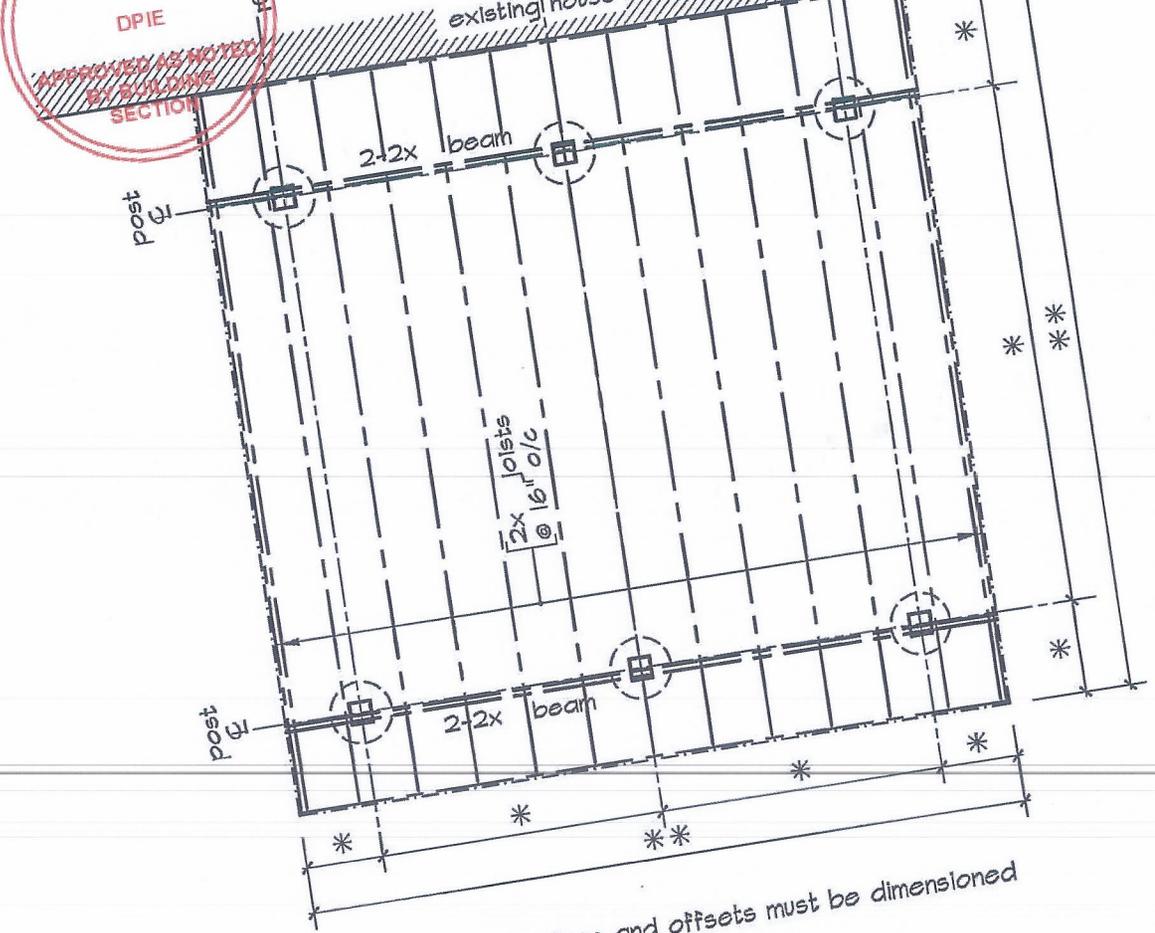
DISCLAIMER: USE ONLY 2,500 PSI CONCRETE FOR FROST FOOTING FOUNDATIONS.

DISCLAIMER: THIS PLAN IS NOT CONSIDERED COMPLETE UNLESS APPROVED BY YOUR BUILDING INSPECTOR OR STRUCTURAL ENGINEER. BUILDER ACCEPTS ALL RESPONSIBILITY AND LIABILITY. DECKS.COM LLC AND ASSOCIATED SPONSORS ACCEPT NO LIABILITY FOR THE USE OF THIS PLAN. © DECKS.COM LLC





ELEVATION
1" = 1'-0"



* column centerlines and offsets must be dimensioned
 ** overall deck sizes must be shown

FRAMING / FOUNDATION PLAN

SCALE 1/4" = 1'-0"

Notes

- 1.) all lumber shall be pressure treated.
- 2.) all connectors, anchors and fasteners shall be either Zmax or post batch hot-dip galvanized steel.
- 3.) do not use standard carbon-steel or aluminum products in direct contact with pressure treated wood.

Prince George's County
 Department of Permitting, Inspections & Enforcement
 APPROVED PERMIT
 Case Name: MONORAIL DECK
 The Department of Permitting, Inspections & Enforcement has completed a review of this document for compliance with applicable laws, codes and regulations. The design professional is responsible for the preparation and content of this document and must provide a record copy of these documents with their original seal, signature and date.



Prince George's County
 Dept. of Permitting, Licensing
**WOOD DECK FRAMING/
 FOUNDATION PLAN AND
 ELEVATIONS**

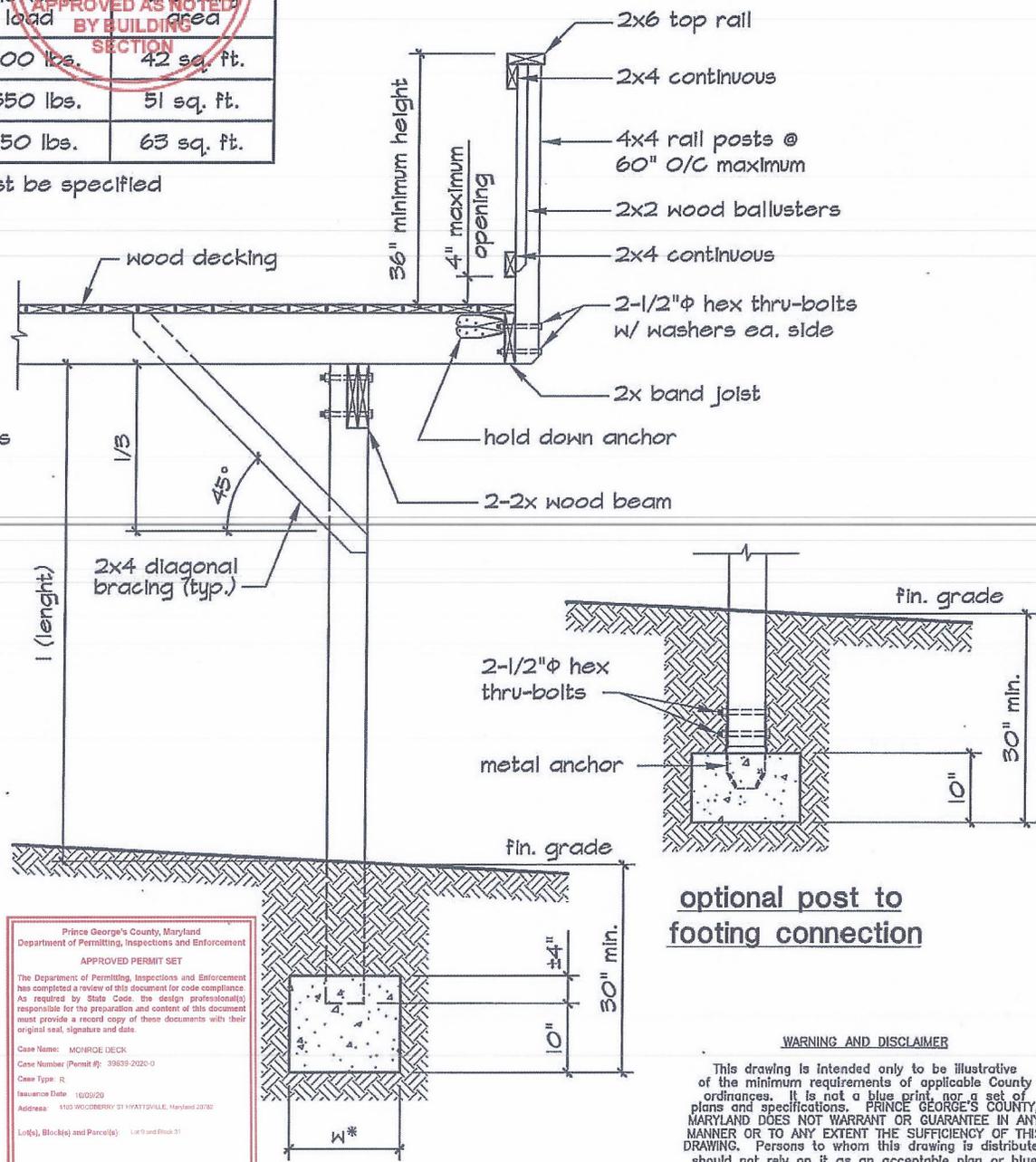
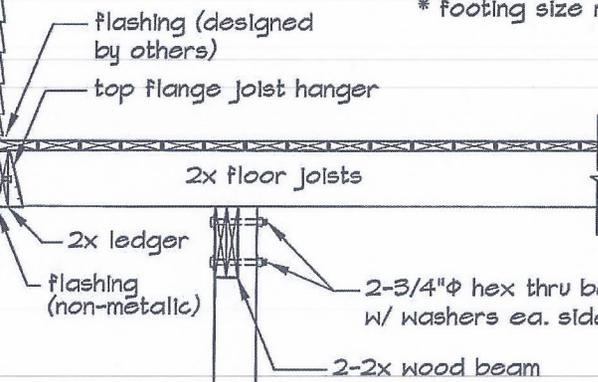
WARNING AND DISCLAIMER
 This drawing is intended only to be illustrative of the minimum requirements of applicable County ordinances. It is not a blue print, nor a set of plans and specifications. PRINCE GEORGE'S COUNTY, MARYLAND DOES NOT WARRANT OR GUARANTEE IN ANY MANNER OR TO ANY EXTENT THE SUFFICIENCY OF THIS DRAWING. Persons to whom this drawing is distributed should not rely on it as an acceptable plan or blue print for any structure. PRINCE GEORGE'S COUNTY, MARYLAND DISCLAIMS ANY AND ALL LIABILITY FOR DAMAGES OR INJURIES, DIRECT OR CONSEQUENTIAL, ARISING OUT OF THE USE OF THIS DRAWING.

Drawing No. **D-023**
 Sheet 1 of 1

P.G.C.

Structural FOOTING DESIGN TABLE DPIE		
size W*	allowable load	tributary area
16" diameter	2100 lbs.	42 sq. ft.
18" diameter	2550 lbs.	51 sq. ft.
20" diameter	3150 lbs.	63 sq. ft.

* footing size must be specified



optional post to footing connection

WARNING AND DISCLAIMER

This drawing is intended only to be illustrative of the minimum requirements of applicable County ordinances. It is not a blue print nor a set of plans and specifications. PRINCE GEORGE'S COUNTY, MARYLAND DOES NOT WARRANT OR GUARANTEE IN ANY MANNER OR TO ANY EXTENT THE SUFFICIENCY OF THIS DRAWING. Persons to whom this drawing is distributed should not rely on it as an acceptable plan or blue print for any structure. PRINCE GEORGE'S COUNTY, MARYLAND DISCLAIMS ANY AND ALL LIABILITY FOR DAMAGES OR INJURIES, DIRECT OR CONSEQUENTIAL, ARISING OUT OF THE USE OF THIS DRAWING.

SECTION
1/2" = 1'-0"

Prince George's County, Maryland
Department of Permitting, Inspections and Enforcement

APPROVED PERMIT SET

The Department of Permitting, Inspections and Enforcement has completed a review of this document for code compliance. As required by State Code, the design professional(s) responsible for the preparation and content of this document must provide a record copy of these documents with their original seal, signature and date.

Case Name: MOHROE DECK
Case Number (Permit #): 2023-2020-0
Case Type: R
Issuance Date: 10/09/20
Address: 1102 WOODBERRY ST HYATTSVILLE, Maryland 20782
Lot(s), Block(s) and Parcel(s): Lot 9 and Block 31

DPIE

Agenda Item 8A
Legislative Resolution 20-O-09
re: 6' Fences (Introduced on 10/5/20)

LEGISLATIVE RESOLUTION 20-0-9

RESOLUTION AND ORDINANCE OF THE TOWN OF UNIVERSITY PARK TO AMEND CHAPTER 4 “BUILDING CODE”, §4-102 "DEFINITIONS" AND § 4-110, “LIMITATIONS ON FENCES” OF THE CODE OF ORDINANCES OF THE TOWN OF UNIVERSITY PARK, TO ALLOW FENCES SIX (6) FEET IN HEIGHT IN SIDE AND REAR YARDS, WITH SOME EXCEPTIONS, TO CLARIFY CERTAIN DEFINITIONS, AND TO MAKE CLARIFYING AND CONFORMING CHANGES

WHEREAS, pursuant to §5-202 of the Local Government Article, Annotated Code of Maryland, the Mayor and Common Council of the Town of University Park have the power to pass such ordinances as deemed necessary to protect the health, safety and welfare of the residents of the municipality and to prevent and remove nuisances; and

WHEREAS, the Mayor and Common Council adopted §4-110 "Limitations on fences", to regulate the height, materials and placement of fences; and

WHEREAS; the Mayor and Common Council have determined that it is in the public interest that the four (4) foot height limitation that was placed on fences in the side and rear yards should be increased to six (6) and to adopt clarifying and conforming changes.

Section 1. **NOW THEREFORE, BE IT ORDAINED AND ENACTED**, by the Mayor and Common Council of the Town of University Park, Maryland that Chapter 4 “Building Code”, §4-102 "Definitions", be, and is hereby repealed, re-enacted and amended to read as follows:

EXPLANATION:

CAPITALS INDICATE MATTER ADDED TO EXISTING LAW

[~~Brackets~~] indicate matter deleted from existing law

* * Asterisks* * indicate existing law which are unchanged but not set forth in the ordinance

CAPITALS INDICATE MATTER ADDED BY AMENDMENT TO THE PROPOSED ORDINANCE

~~[Brackets]~~ indicate matter deleted by amendment to the proposed ordinance

§ 4-102 **Definitions.**

As used in this chapter, the following terms mean:

BUILDING RESTRICTION LINE

The setback line established by the Prince George's County Zoning Code for the R-55 Zone AND RSF-65 ZONE, by plat, or by covenant or agreement, whichever is applicable, beyond which no part of a main building or other structure may extend.

* * * *

FENCE Any structure, wall, RETAINING WALL, barrier, [or] partition OR COMBINATION THEREOF erected for the purpose or with the effect of enclosing a piece of land, dividing a piece of land into distinct portions, separating two contiguous estates, or stopping and/or creating an obstacle to pedestrian crossings, or consisting of a section or sections of any type or fencing material, including chain, railing, arbor, or trellis, or any other type of similar structure constructed or set in place and made of any material such as bricks, blocks, stones, wood, iron, wire, plastics, concrete or any other building or construction material. Fence does not include underground, invisible animal restraint barriers.

* * * *

Section 2. BE IT FURTHER RESOLVED that Chapter 4 “Building Code”, §4-110

"Limitations on fences", be, and is hereby repealed, re-enacted and amended to read as follows:

§ 4-110 Limitations on fences.

A. No fence [~~or wall or combination thereof~~] within the Town shall:

- (1) Exceed [~~four~~] SIX feet in height from existing finished grade [~~, unless it surrounds a swimming pool, as defined in the Prince George's County Zoning Code~~]. THE HEIGHT OF A FENCE IS MEASURED FROM THE TOP OF THE FENCE TO THE GRADE ON THE SIDE OF THE FENCE WHERE THE GRADE IS THE LOWEST.
- (2) Be erected or maintained in the front yard, except as provided in Subsection C of this section.
- (3) Impede or interfere with the natural flow of surface water from adjoining property.
- (4) Be constructed so as to encroach into the public right-of-way.
- (5) Be constructed, RECONSTRUCTED OR REPLACED in whole or in part [~~or~~] WITH barbed wire.

B. A fence [~~, wall, or fence/wall combination~~] may be erected or maintained in the side or rear yard of the property, but shall not be erected beyond the front building restriction line for any existing or proposed street [~~, alley or roadway~~] AS DEFINED IN CHAPTER 1 OF THIS CODE that borders the property, except as provided in Subsection C of this section and as follows:

(1) If the main building on the lot TO BE FENCED extends beyond the front building restriction line for a bordering street, then a side OR REAR yard fence may be constructed along a parallel line from the rear corner of THE MAIN building to the rear of the lot.

(2) If there are no houses facing the street on that side of the block on which a side or rear yard fence is to be built, then it may be constructed to the side or rear lot line.

C. Retaining walls built to retain or support the lateral pressure of earth or water or other superimposed load shall be designed and constructed of approved masonry, reinforced concrete, steel sheet piling, or other approved materials within the allowable stresses of acceptable engineering practices. Retaining walls may be constructed where necessary in the front, side, or rear yard, but shall not extend more than one foot above finished grade, EXCEPT THAT A RAILING OR FENCE AS REQUIRED FOR HEALTH AND SAFETY REASONS BY PRINCE GEORGE'S COUNTY MAY BE PLACED AS APPROVED ON RETAINING WALLS.

(1) Retaining walls shall be designed to resist the pressure of the retained material, including both dead and live load surcharges, to which they may be subjected, and to ensure stability against overturning, sliding, excessive foundation pressure, and water uplift.

(2) Unless drainage is provided, the hydrostatic head of water pressure shall be assumed equal to the height of the wall.

(3) All masonry retaining walls other than reinforced concrete walls shall be protected with an approved coping.

D. ~~[Any protective railings, fences, or barriers required by this Building Code which do not conform to this section due to location, dimensions, materials, or open percentage, must be considered as a special exception by the Common Council pursuant to § 4-115 of this article.~~

~~E.]~~ Notwithstanding any other provision of this section, the Common Council shall not authorize the construction of any fence, wall, or combination, which will adversely affect the public health, safety, welfare or comfort.

~~[F.]~~ E. This section shall apply to all new fences~~[-, walls, or combinations]~~ constructed, reconstructed, or replaced on or after the effective date of this section and to any fence, wall, or combination which encroaches on the public right-of-way. This section shall not apply to the reconstruction or replacement, with similar dimensions, placement and materials, of any fence~~[-, wall or combination]~~ in existence or properly permitted before the effective date of this section, or for which a special exception has previously been granted by the Council, regardless of when it was first constructed.

~~[G. Notwithstanding any other provision of this section, no fence [-, wall or combination] may be reconstructed or replaced with barbed wire.]~~

~~[H.]~~ F. Notwithstanding any other provision of this section, chicken wire may not be utilized to construct, reconstruct, or replace any fence which ~~[runs along]~~ ABUTS or is within four feet of any existing or proposed street, road, alley or public right-of-way, or ~~[immediately adjacent to]~~ ABUTS any property line of an adjoining lot owned by another.

[1.] G. Trellises and arbors up to six feet in height may be installed in any area in which a fence may be constructed under this section. Trellises and arbors between six and eight feet in height may be installed in any area in which a fence may be constructed under this section, subject to the restrictions of Section 27-420 of the Prince George's County Zoning Code, AS AMENDED, prohibiting construction in required yards. Trellises and arbors may not obscure visibility from adjoining properties.

Section 2. Be it further resolved that a certified copy of this Ordinance shall be submitted to the Prince George's County Council within five days after its adoption. This ordinance shall become effective twenty (20) days after enactment by the Mayor and Common Council of University Park and review and approval by the County Council. If any section, subsection, provision, sentence, clause, phrase or word of this Ordinance is for any reason held to be illegal or otherwise invalid by any court of competent jurisdiction, such invalidity shall be severable, and shall not affect or impair any remaining section, subsection, provision, sentence, clause, phrase or word included within this Ordinance, it being the intent of the Town that the remainder of the Ordinance shall be and shall remain in full force and effect, valid and enforceable.

Section 3: Be it further resolved that a complete and exact copy of this proposed Ordinance shall be posted on the entrance door of the Town Building of University Park, Maryland, for a period of not less than ten (10) days, and a fair summary of this Ordinance shall be published at least once in a newspaper having general circulation in the community.

APPROVED this _____ day of _____, 2020

ATTEST:

MAYOR AND COMMON COUNCIL
TOWN OF UNIVERSITY PARK

By: _____

Lenford C. Carey, Mayor

APPROVED AS TO FORM AND
LEGAL SUFFICIENCY

By: _____
Suellen M. Ferguson, Town Attorney

Agenda Item 8B
Legislative Resolution 20-O-10
re: Parking (Introduced on 10/5/20)

Amending Section 9-104 Parking
Sponsored by: Councilmember Schultz

LEGISLATIVE RESOLUTION 20-0-10

Resolution and Ordinance of the Town of University Park to amend Chapter 9 “Traffic and Vehicles”, Article 1, “Traffic”, Section 9-104, “Parking” to prohibit parking at any time at certain locations on Tennyson Road, and to prohibit parking from November 1 through January 15 of each year at certain locations on 40th and 41st Avenues and Tennyson Road.

WHEREAS, pursuant to §5-202 of the Local Government Article, Annotated Code of Maryland, the Mayor and Common Council of the Town of University Park have the power to pass such ordinances as deemed necessary to protect the health, safety and welfare of the residents of the municipality and to prevent and remove nuisances; and

WHEREAS, the Transportation Article, Annotated Code of Maryland, authorizes the Town to adopt parking and traffic regulations; and

WHEREAS, the Mayor and Common Council have adopted Chapter 9, “Traffic and Vehicles”, of the Town Code to regulate parking and traffic in the Town; and

WHEREAS, issues with parking, traffic and pedestrian safety have arisen at various locations in the Town; and

WHEREAS, the Mayor and Common Council, have determined that it is in the public interest to: prohibit parking at all times on the north side of Tennyson Road from the east side of the alley entrance to a distance of 30 feet east toward 41st Avenue, and from the line of the

EXPLANATION:

CAPITALS INDICATE MATTER ADDED TO EXISTING LAW

~~[Brackets]~~ indicate matter deleted from existing law

* * Asterisks* * indicate existing law which are unchanged but not set forth in the ordinance

CAPITALS INDICATE MATTER ADDED BY AMENDMENT TO THE PROPOSED ORDINANCE

~~[Brackets]~~ indicate matter deleted by amendment to the proposed ordinance

curvature at the intersection with 40th Avenue to a distance of 29' west toward Adelphi Road, and on the south side of Tennyson Road from the east side of the driveway apron at 4011 Tennyson to a distance of 32' east toward 41st Avenue, and to prohibit parking from November 1-January 15 of each year at the following locations to enable leaf collection:

On the east side of 40th Avenue from the line of curvature of the circle to a distance 25' south toward Tennyson Rd.

On the east side of 41st Avenue from the line of curvature of the circle to a distance of 28' south toward Tennyson Road.

On the south side of Tennyson Rd. from the line of curvature of the circle to a distance of 25' west toward 41st Avenue.

On the north side of Tennyson Rd. from the west side of the alley entrance to a distance of 20' west toward 40th Ave.

Section 1: NOW THEREFORE be it resolved and ordained by the Mayor and Common Council of the Town of University Park that Chapter 9 "Traffic and Vehicles", Article 1 "Traffic", Section 9-104 "Parking", of the Code of the Town of University Park, be repealed, re-enacted and amended to read as follows:

Section 9-104 Parking

A. Prohibitions * * * *

(1) * * * *

(2) Parking. No person shall park any vehicle at any time in the specified places on the following streets:

* * * *

xx. Tennyson Road South from Adelphi Road to 40th Avenue and the entire park turnaround

NORTH SIDE FROM THE EAST SIDE OF THE ALLEY ENTRANCE
FOR A DISTANCE OF 30 FEET EAST TOWARD 41ST AVENUE
FROM THE LINE OF THE CURVATURE AT ITS INTERSECTION
WITH 40TH AVENUE FOR A DISTANCE OF 29 FEET WEST
TOWARD ADELPHI ROAD
SOUTH SIDE OF TENNYSON ROAD FROM THE EAST SIDE OF
THE DRIVEWAY APRON AT 4011 TENNYSON FOR A DISTANCE
OF 32 FEET EAST TOWARD 41ST AVENUE

* * * *

B. Limitations

(1) - (2) * * * *

(3) SPECIFIC TIMES.

NO PERSON SHALL PARK ANY VEHICLE AT ANY TIME IN THE SPECIFIED
PLACES ON THE FOLLOWING STREETS BETWEEN NOVEMBER 1 THROUGH
JANUARY 15 IN EACH YEAR.

40TH AVENUE EAST SIDE FROM THE LINE OF CURVATURE OF THE
CIRCLE FOR A DISTANCE OF 25 FEET SOUTH TOWARD
TENNYSON RD.

41ST AVENUE EAST SIDE FROM THE LINE OF CURVATURE OF THE
CIRCLE FOR A DISTANCE OF 28 FEET SOUTH TOWARD
TENNYSON ROAD.

TENNYSON ROAD SOUTH SIDE FROM THE LINE OF CURVATURE OF THE
CIRCLE FOR A DISTANCE OF 25 FEET WEST TOWARD 41ST
AVENUE.

NORTH SIDE FROM THE WEST SIDE OF THE ALLEY
ENTRANCE FOR A DISTANCE OF 20 FEET WEST TOWARD
40TH AVE.

* * * *

Section 2. Be it further resolved that this resolution shall become effective twenty (20)
days after enactment by the Mayor and Common Council of University Park.

Section 3: Be it further resolved that a complete and exact copy of this proposed Ordinance shall be posted on the entrance door of the Town Building of University Park, Maryland, for a period of not less than ten (10) days, and a fair summary of this Ordinance shall be published at least once in a newspaper having general circulation in the community.

APPROVED this _____ day of _____, 2020

ATTEST:

MAYOR AND COMMON COUNCIL
TOWN OF UNIVERSITY PARK

By: _____
Lenford C. Carey, Mayor

APPROVED AS TO FORM AND
LEGAL SUFFICIENCY

By: _____
Suellen M. Ferguson, Town Attorney

Agenda Item 9A
Introduction of Charter Resolution 20-CR-02
re: amending Article V “Registration, Nominations and Elections”

Sponsored by:
Councilmember

CHARTER RESOLUTION 20-CR-02

CHARTER RESOLUTION OF THE MAYOR AND COMMON COUNCIL OF UNIVERSITY PARK, PURSUANT TO THE AUTHORITY OF ARTICLE XI-E OF THE CONSTITUTION OF MARYLAND AND §4-301 *ET SEQ.* OF LOCAL GOVERNMENT ARTICLE, ANNOTATED CODE OF MARYLAND, AS AMENDED, TO AMEND THE CHARTER OF THE TOWN OF UNIVERSITY PARK, BY REPEALING AND RE-ENACTING ARTICLE V, “REGISTRATION, NOMINATIONS AND ELECTIONS”, SECTION 502, “SUPERVISORS OF ELECTIONS“, SECTION 503, "REGISTRATION", SECTION 504, “ELECTIONS” AND SECTION 506, “CANDIDATES FOR OFFICE” TO CHANGE THE REQUIREMENTS FOR PUBLIC NOTICE OF ELECTIONS, SET THE DATE FOR CLOSURE OF VOTER REGISTRATION AT TWENTY-NINE DAYS PRIOR TO THE ELECTION, MAKE PROVISION FOR WHEN THE TWENTY-NINE DAY DEADLINE FOR VOTER REGISTRATION OR FILING OF CANDIDATE PETITIONS FALLS ON A SATURDAY, SUNDAY OR HOLIDAY, MAKE PROVISION FOR APPEAL OF THE DECISIONS OF THE SUPERVISORS OF ELECTIONS AND THE MAYOR AND COMMON COUNCIL AND THE TIMING THEREFORE, DELETE OUTDATED REFERENCES, AND MAKE CONFORMING AND CLERICAL CHANGES.

Section 1: Be it resolved and ordained by the Mayor and Common Council of University Park that Article V, “Registration, Nominations and Elections”, Section 502, "Supervisors of Elections”, of the Charter of the Town of University Park be repealed, re-enacted and amended to read as follows:

Section 502 Supervisors of Elections.

(a) ~~[Beginning January 1, 1976, a]~~ At its first meeting in January of each even-numbered year, or as soon thereafter as may be feasible, the Mayor and Common Council shall appoint two qualified voters to the positions of Supervisors of Elections. The Mayor and Common Council shall also designate one of the persons appointed to be Chair~~[man]~~. The Chair~~[man]~~ shall serve in that capacity at the pleasure of the Mayor and Common Council. The appointees shall not hold public office nor be candidates for election to public office during their term of office, nor shall they be the spouse, parent, or child of a candidate or elected official. The Supervisors shall serve

EXPLANATION:

CAPITALS INDICATE MATTER ADDED TO EXISTING LAW

[Brackets] indicate matter deleted from existing law

Asterisks indicate provisions of existing law which have been omitted from resolution and remain

1 for two-year terms beginning on March 1st and ending on the last day of February of the next
2 even-numbered year. Supervisors whose terms have expired shall continue to serve until a
3 successor is appointed. The Mayor and Common Council may remove a Supervisor during the
4 Supervisor's term of office for cause. In the event of a vacancy during a Supervisor's term of
5 office, the vacancy may be filled by the Mayor and Common Council in the manner in which the
6 initial appointment is made. Appointment to a vacant position shall be effective for the unexpired
7 term of the Supervisor whose position has become vacant.

8 (b) * * * * *

9 c) The Supervisors are responsible for [~~registration of voters,~~] administration of the procedures
10 for nomination for Town offices and the administration and supervision of all Town Elections. In
11 the performance of their duties, Supervisors are empowered to administer oaths. Pursuant to
12 authorization of the Mayor and Common Council, the Chair[~~man~~] of the Supervisors of Elections
13 may employ necessary personnel to assist in the performance of their duties. The Mayor and
14 Common Council shall establish compensation for personnel employed by the Chair[~~man~~].

15
16 (d) ANY CANDIDATE OR REGISTERED VOTER OF THE TOWN AGGRIEVED BY ANY
17 DECISION OR ACTION OF THE SUPERVISORS OF ELECTIONS, OTHER THAN
18 CONTESTED ELECTION ISSUES GOVERNED BY SECTION 504, MAY APPEAL TO
19 THE MAYOR AND COMMON COUNCIL WITHIN THREE BUSINESS DAYS OF THE
20 DECISION OR ACTION. THE DECISION OF THE MAYOR AND COMMON COUNCIL
21 MAY BE APPEALED TO THE CIRCUIT COURT OF PRINCE GEORGE'S COUNTY
22 WITHIN THE TIME ALLOWED FOR SUCH APPEAL ACCORDING TO THE
23 MARYLAND RULES GOVERNING ADMINISTRATIVE APPEALS.

24
25 Section 2: Be it further resolved and ordained by the Mayor and Common Council of
26 University Park that Article V, "Registration, Nominations and Elections", Section 503,
27 "Registration" of the Charter of the Town of University Park be repealed, re-enacted and
28 amended to read as follows:

29 Section 503 Registration

30 (a) The Supervisors shall give at least two weeks' notice of every election date by notices
31 [~~published in at least one newspaper of general circulation in the Town and~~] posted ON THE
32 TOWN WEBSITE, AT THE ENTRANCE TO TOWN HALL AND in at least one prominent
33 place in each Ward of the Town. Notices of election shall contain a summary of questions that
34 may be on the ballot and the names of nominees for each Town office as those names will appear
35 on the ballot. The Supervisors may also cause notices required by this subsection to be published
36 in the Town newsletter.

37 (b) * * * * *

1 (c) Voter registration for Town elections shall close [~~thirty (30)~~] TWENTY-NINE (29)
2 CALENDAR days, INCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS, prior to the
3 election. IN THE EVENT THAT THE TWENTY-NINTH DAY FALLS ON A SATURDAY,
4 SUNDAY OR HOLIDAY, VOTER REGISTRATION SHALL BE EXTENDED TO THE NEXT
5 DAY THAT IS NOT A SATURDAY, SUNDAY OR HOLIDAY.

6 (d) The Prince George's County Board of Elections will maintain the Town's official voter list.
7 [~~The Supervisors shall notify the County Board of Elections of any potential errors, including~~
8 ~~errors in residency of registered voters, within twenty (20) days after receiving any list of registered~~
9 ~~voters from the Board of Elections.]~~

10 [~~(e) Persons aggrieved by acts of the Supervisors may appeal to the Mayor and Common~~
11 ~~Council. Decisions of the Common Council on such appeals may be appealed to the Circuit~~
12 ~~Court of Prince George's County within the time allowed for such appeal.]~~

13
14 Section 3: Be it further resolved and ordained by the Mayor and Common Council of
15 University Park that Article V, "Registration, Nominations and Elections", Section 504,
16 "Elections" of the Charter of the Town of University Park be repealed, re-enacted and amended
17 to read as follows:

18 Section 504 Elections.

19 (a) * * * * *

20 (b) The Supervisors shall provide a suitable place or places for voting and suitable ballot boxes
21 and ballots or voting machines. The ballots or voting machines shall show the name of each
22 candidate arranged in alphabetical order according to their surnames, under the designation of the
23 office for which they are candidates. In addition to surnames, the candidates' given name and
24 middle initial shall be printed. The use of party affiliation or designation, nicknames, titles, degrees
25 or other designations on the ballot is prohibited. The ballots shall also contain an appropriate space
26 to permit voting for QUALIFIED "write-in" candidates, and an appropriate space to provide the
27 option to vote for "none of the above". Only write-in candidates qualified pursuant to section 506
28 of this article may be elected. The Supervisors shall not provide ballots TO ANY PERSON, nor
29 permit any person to vote, whose name does not appear in the registration books.

30
31 (c) * * * * *

32
33 (d) The Supervisors OF ELECTIONS are authorized to permit voters to vote by absentee ballot
34 and shall establish procedures for voting by absentee ballot. A registered voter must apply for
35 such ballot to the Chair[man] of the Supervisors of Elections not less than five (5) days before
36 the date of the election. The Supervisors of Election shall verify the identity of the persons

1 applying for an absentee ballot. No absentee ballot shall be counted unless it is received by the
2 Supervisors on or before the date of election. The Supervisors shall maintain THE control, ~~and~~
3 supervision ~~[of such ballots and maintain the]~~ AND secrecy of such ballots.

4
5 (e) The Supervisors OF ELECTIONS shall permit each candidate to designate an appropriate
6 number of poll watchers. The Supervisors will establish appropriate rules governing the
7 designation and conduct of poll watchers to the election which rules shall provide for the
8 observation of the proceeding by the watchers.

9
10 (f) Within twenty-four (24) hours after the polls are closed, the Supervisors OF ELECTIONS
11 shall tabulate the voteS cast for each candidate ~~[or, if appropriate,]~~ AND/OR question, and shall
12 certify the results to the Clerk of the Town who shall record the results in the minutes of the
13 proceedings of the Mayor and Common Council. The Clerk shall notify the Mayor, each member
14 of the Common Council, and all candidates for office of the results of the election. The candidate
15 for each office with the highest number of votes shall be declared by the Chair~~man~~ of the
16 Supervisors of Elections to be elected to the office for which he/she is a candidate.

17
18 (g) Within two (2) BUSINESS days after the date of certification in an election conducted with
19 paper ballots, any candidate may request a re-count of the votes cast in the election for an office
20 for which he/she is a candidate by filing a written request with the Chair~~man~~ of the Supervisors
21 of the Election. Such request shall be accompanied by a certified check in the amount of fifty
22 (\$50.00) dollars to defray the cost of the re-count. Within ten (10) days from the date of receipt
23 of the request, the Supervisors shall count the ballots cast for the office for which the petitioner
24 was a candidate. If the results of the re-count are favorable to the petitioner the Chair~~man~~ shall
25 direct the Clerk to return the fee to the petitioner.

26
27 (h) The ~~[Board of Elections]~~ Supervisors OF ELECTIONS, and each of them, has the authority
28 to keep the peace and to cause any person to be arrested for any breach of the peace, or for any
29 breach of the election laws, or an interference with the progress of an election, the canvass of the
30 ballots or the ascertainment and transcription of the votes recorded ~~[on the ascertainment and~~
31 ~~transcription of the votes recorded]~~ on the voting machines. It shall be the duty of all officers of
32 the law present to obey the order of any of the election supervisors, and an officer making an
33 arrest by direction of the election supervisors shall be protected in so doing fully as if a warrant
34 had been issued to him/her to make such arrest. Removal of any official Town election material
35 from the polling place, or refusal to return said materials to the ~~[Board of Election]~~ Supervisors
36 OF ELECTIONS, is prohibited.

37 (i) Contested Elections.

38 (i) Petition of Contest. Any ~~[person]~~ CANDIDATE OR TOWN REGISTERED VOTER wishing
39 to contest the results of an election shall file a petition with the Clerk within ~~[(2)]~~ THREE
40 BUSINESS days after the results of the election are certified to the Mayor and Common Council,

- 1 which petition shall set forth in writing one or more of the following grounds:
- 2 (A) Malconduct, fraud, or irregularity by any election official sufficient to change or place in
- 3 doubt the results;
- 4 (B) Ineligibility of the defendant for the office in dispute;
- 5 (C) Illegal votes received, or legal votes rejected, sufficient to change the result;
- 6 (D) An error in counting the votes or in declaring the result of an election, if such error would
- 7 change the result; or
- 8 (E) Any other cause which shows that another PERSON was the person legally elected.
- 9 (ii) Notice and Hearing. Upon the filing of the contest petition, a hearing shall be set before the
- 10 Mayor and Common Council and written notice stating the time and place of the hearing and
- 11 containing a copy of the contest petition shall be given to all affected candidates. The hearing
- 12 will take place not less than five (5) nor more than twenty (20) days after service of the notice
- 13 upon the affected candidates, and shall be conducted in an informal manner.
- 14 (iii) Determination by Mayor and Common Council. The Mayor and Common Council shall
- 15 ~~[examine the qualifications of electors concerning their right to vote, order a re-count of ballots,~~
- 16 ~~examine the re-registration lists, and]~~ perform such acts and conduct such examinations as may
- 17 be necessary to determine the appeal of the results of an election[s]; except that the Mayor or
- 18 members of the Common Council who are candidates in the disputed contest shall not participate
- 19 in the appeal.
- 20 (iv) Appeal. The final determination of the Mayor and Common Council may be appealed to the
- 21 Circuit Court of Prince George's County. Such appeal shall be made within ten (10) days after
- 22 determination of the contest by the Mayor and Common Council.
- 23 (j) If two or more candidates for the same office, receiving the highest number of votes, receive
- 24 an equal number of votes, the Mayor and Common Council shall direct the Supervisors of
- 25 Elections to administer a special election to be conducted in the same manner as far as
- 26 practicable as regular Town elections. The Supervisors of Elections shall declare the candidate
- 27 receiving the highest number of votes in the special election to be elected to the office for which
- 28 he/she is a candidate.
- 29 ~~[(k) All ballots will be retained in the custody of the Clerk for a period of not less than six (6)~~
- 30 ~~months from the date of election.]~~

31

32 Section 4: Be it further resolved and ordained by the Mayor and Common Council of

33 University Park that Article V, "Registration, Nominations and Elections", Section 506,

34 "Candidates for Office" of the Charter of the Town of University Park be repealed, re-enacted

35 and amended to read as follows:

36 Section 506 Candidates for Office

1 (a) – (b) * * * * *

2 (c) Any person desiring to run for Mayor shall file with the Supervisors of Elections a petition
3 containing the names of at least twenty (20) persons, who are qualified voters in the Town; and
4 any person desiring to run for Council member shall file a petition with said Supervisors of
5 Elections containing the names of at least ten (10) qualified voters residing in the ward, at least
6 twenty-nine (29) calendar days, including Saturdays, Sundays and ~~legal~~ holidays, prior to THE
7 election. IN THE EVENT THAT THE TWENTY-NINTH DAY FALLS ON A SATURDAY,
8 SUNDAY OR HOLIDAY, THE PETITION FILING DEADLINE IS EXTENDED TO THE
9 NEXT DAY THAT IS NOT A SATURDAY, SUNDAY OR HOLIDAY. Any person desiring to
10 be a candidate must also file the financial disclosure statement as required by § 12-105 of the
11 Town Code of Ordinances. After the petitions have been filed and the time for filing has expired,
12 the Supervisors of Elections shall cause to be published in some manner as shall give general
13 publicity the names of the candidates filing petitions under this paragraph (c) and the positions to
14 which they aspire.

15

16 (d) – (f) * * * *

17

18 Section 5: Be it further resolved that this resolution is adopted after at least 21 days of
19 prior public notice of the public hearing and shall become effective fifty days after enactment by
20 the Mayor and Common Council of University Park, unless petitioned to referendum in a manner
21 prescribed by law. If any section, subsection, provision, sentence, clause, phrase or word of
22 this Charter Resolution is for any reason held to be illegal or otherwise invalid by any court
23 of competent jurisdiction, such invalidity shall be severable, and shall not affect or impair
24 any remaining section, subsection, provision, sentence, clause, phrase or word included
25 within this Charter Resolution, it being the intent of the Town that the remainder of the
26 Charter Resolution shall be and shall remain in full force and effect, valid and enforceable.

27 Section 6: Be it further resolved that a complete and exact copy of this proposed Charter
28 amendment shall be posted on the entrance door of the Town Hall of University Park, 6724
29 Baltimore Avenue, University Park, Maryland, for a period of not less than forty (40) days, and a
30 fair summary of this Charter amendment shall be published at least four times on four successive
31 weeks within that forty day period in a newspaper having general circulation in the community.

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APPROVED this _____ day of _____, 2020.

ATTEST:

MAYOR AND COMMON COUNCIL
TOWN OF UNIVERSITY PARK

Andrea Marcavitch, Clerk

By: _____
Lenford C. Carey, Mayor

APPROVED AS TO FORM AND LEGAL
SUFFICIENCY

Suellen M. Ferguson, Town Attorney

Agenda Item 9B
Introduction of Legislative Resolution 20-O-11
re: Codifying Town Code

Recodification of the Code of Ordinances
Sponsored by: Council as a Whole

LEGISLATIVE RESOLUTION 20-O-11

Resolution and Ordinance of the Mayor and Common Council, Town of University Park, to recodify the Town of University Park Code of Ordinances with no substantive changes, and to include grammatical changes, correct code references and other minor non-substantive changes, and renumbering of chapters, articles and sections with internal references and cross- references.

WHEREAS, pursuant to §5-201 *et seq.* of the Local Government Article, Annotated Code of Maryland, the Mayor and Common Council of the Town of University Park have the power to pass such ordinances as deemed necessary to protect the health, safety and welfare of the residents of the municipality and to prevent and remove nuisances; and

WHEREAS, the Mayor and Council have determined that it is appropriate to recodify, renumber and consolidate the Town Code into chapters and sections and to make certain grammatical and other minor non-substantive changes; and

WHEREAS, the Mayor and Council have determined to adopt this Ordinance to recodify, renumber and consolidate the Town Code and provide for the continuation of previous provisions.

Section 1. NOW THEREFORE, BE IT ORDAINED AND ENACTED, by the Mayor and Common Council of the Town of University Park as follows:

§1-101 Designation of Code and continuation of provisions.

EXPLANATION:

CAPITALS INDICATE MATTER ADDED TO EXISTING LAW

[~~Brackets~~] indicate matter deleted from existing law

* * Asterisks* * indicate existing law which are unchanged but not set forth in the ordinance

CAPITALS INDICATE MATTER ADDED BY AMENDMENT TO THE PROPOSED ORDINANCE

~~[Brackets]~~ indicate matter deleted by amendment to the proposed ordinance

The ordinances embraced in this and the following chapters shall, as revised, codified and consolidated into chapters and sections by General Code, as set forth in the Derivation Table included at the end of the Code, and as renumbered to consist of Chapters 1 through 16, are hereby approved, adopted, ordained and enacted as the "Code of the Town of University Park" hereafter referred to as the "Code." Those provisions appearing in this Code so far as they are the same as those of preceding Codes and ordinances shall be continuations of those Codes and ordinances and not new enactments.

§ 1-102 Ordinances repealed and their effect.

A. All ordinances not contained in this Code are hereby repealed from and after the effective date of this Code. The repeal of an ordinance shall not affect any punishment or penalty incurred before the repeal took effect, nor shall it affect any suit, prosecution, or proceeding pending at the time of repeal for an offense committed under the ordinances repealed.

B. In compiling and preparing the ordinances and **** Code for publication as the 2020 Code of the Town of University Park, no changes in the meaning or intent of such legislation have been made. Certain grammatical changes and other minor non-substantive changes were made in one or more of said pieces of legislation. Chapters, articles and sections have been renumbered including all internal references and cross- references. It is the intention of the Mayor and Common Council of the Town of University Park that all such changes be adopted as part of the Code as if the ordinances had been previously formally amended to read as such. The ordinances and resolutions specified in this subsection are recognized as continuing in full force and effect to the same extent as if set out at length herein.

C. The provisions of this Code, insofar as they are substantively the same as those of ordinances and the ***** Code in force immediately prior to the enactment of this Code by this ordinance, are intended as a continuation of such ordinances and not as new enactments, and the effectiveness of such provisions shall date from the date of adoption of the prior ordinance. All such provisions are hereby continued in full force and effect and are hereby reaffirmed as to their adoption by the Mayor and Common Council of the Town of University Park, and it is the intention of said Mayor and Common Council that each such provision contained within the Code is hereby reaffirmed as it appears in said Code.

D. Nothing in this Code or the ordinance adopting this Code shall be construed to repeal or otherwise affect the validity of any of the following:

- (1) Any ordinance or resolution promising or guaranteeing the payment of money for the Town or authorizing issuance of any bond of the Town or any evidence of the Town's indebtedness;
- (2) Any appropriation ordinance or resolution providing for the levy of taxes or an annual budget;

- (3) Any ordinance or resolution approving, authorizing or otherwise relating to any contract, agreement, lease, deed or other instrument; and
- (4) Any ordinance relating to the salaries of Town officers or employees.

E. For purposes of transition from the **** Code to this Code, any reference to a chapter or section number from the *** Code on or in any form, license, permit, ticket or other Town of University Park document shall be deemed to refer to the corresponding chapter or section in this Code **until** such form, license, permit, ticket or other Town document is revised or reprinted to refer to the numbering in this Code.

Section 2. Be it further resolved that this Ordinance shall become effective twenty (20) days after enactment by the Mayor and Common Council of University Park.

Section 3: Be it further resolved that a complete and exact copy of this proposed Ordinance shall be posted on the entrance door of the Town Building of University Park, Maryland, for a period of not less than ten (10) days, and a fair summary of this Ordinance shall be published at least once in a newspaper having general circulation in the community.

APPROVED this _____ day of _____, 2020

ATTEST:

MAYOR AND COMMON COUNCIL
TOWN OF UNIVERSITY PARK

Andrea Marcavitch, Clerk

By: _____
Lenford C. Carey, Mayor

APPROVED AS TO FORM AND
LEGAL SUFFICIENCY

By: _____
Suellen M. Ferguson, Town Attorney

Agenda Item 9C
Donation Request Letter

September 14, 2020

Dear Mayor and Honorable Council Members,

The COVID-19 epidemic has heavily affected the health and welfare of residents of Prince George's County, including our immediate, neighboring communities. Especially hard hit were, and still are, many of the fine, small, family-owned restaurants that contributed to an increasing high quality of life along Route 1. In addition, many individuals along the Route 1 corridor find themselves without work and/or a loss of income because of the economic ravages of the epidemic and find it difficult to feed themselves and their families.

In order to contribute to the amelioration of these issues, a group of University Park residents have joined with individuals from College Park, Hyattsville, and Riverdale Park to fund an initiative to support local restaurants to stay open and to feed local residents as they struggle to survive and feed themselves and their families. We have done so by forming a fundraising group, Route One Community Cares (ROCC), and partnering with Greater Riverdale Cares (GRC), an earlier ongoing initiative with similar goals managed by the Central Kenilworth Avenue Revitalization Community Development Corporation (CKAR).

Up to now, we have successfully raised \$51,000. These funds are used by our group to place orders for 100 ten-dollar meals per participating restaurant per week. The meals are picked up from the restaurants and delivered by CKAR staff and other volunteers to food distribution centers in the local area. Currently, there are five restaurants that take part in the program weekly. We are looking to expand from the present level of 5 restaurants and 500 meals a week to 10 restaurants and 1,000 meals a week. Therefore, we are intensifying our fundraising efforts.

Last Tuesday, College Park set aside an additional \$10,000 to support the effort, which brings us to the central point of this letter, namely, to ask for a similar contribution from University Park. A donation of \$10,000 will provide 1,000 meals and help up to 10 locally owned restaurants to keep their doors open and their staff employed over a two-week period.

The signatories below, all residents of University Park, strongly believe that by supporting our local restaurants by paying them to prepare meals for those who might otherwise go hungry is a way of ensuring not only the continuing quality of life of all who live along the Route 1 corridor, but also our own community. If you have any questions, please do not hesitate to contact any of us. All of us will also make every effort to attend the virtual Council Meetings when this request is discussed before Council to be able to respond publicly to any questions and supply more details about our group and effort. We maintain a website (www.feedrouteone.org) where you can find more information about our group and our success so far.

Thanking you in advance for considering this request,

Sincerely yours,

On behalf of the Members of ROCC

John Rogard Tabori,

240.832.5795

mctab@aol.com

Loretta Vitale Saks,

301.579.4241

lorettahup@gmail.com

Deborah Rosenfelt,

Steve Hurtt

301.412.0595

shurtt@umd.edu

Agenda Item 10E
Treasurer's Report

**Town of University Park
Treasurer's Report
September 30, 2020**

Cash Balances

Bank of America - General Fund	\$5,085.95
Suntrust - General Fund	189,870.70
Suntrust - Debit Card A/C	17,034.73
MD Local Government Investment Pool	1,354,740.91
2019 Bonds	1,600,000.00
Police Benevolence Fund	4,280.76
HHUP TAF	2,670.00
Employee Holiday Fund	0.00
BB&T Bank - CD	4,212.41
Petty Cash	500.00
Total	<u>\$3,178,395.46</u>

**Town of University Park
Treasurer's Report
September 2020**

	<u>September</u>	<u>Jul - Sep 20</u>	<u>Budget</u>	<u>\$ Over Budget</u>	<u>% of Budget</u>
Ordinary Income/Expense					
Income					
General Fund Revenues					
I - Taxes					
4000-00 · Real Estate Tax Revenue	243,552.01	271,526.98	2,445,072.00	(2,173,545.02)	11.11%
4005-00 · Business Personal Property Tax	(39.83)	24,351.25	60,000.00	(35,648.75)	40.59%
4010-00 · Penalties & Interest on Taxes		475.51	1,000.00	(524.49)	47.55%
4020-00 · State Income Tax	45,799.39	45,799.39	680,000.00	(634,200.61)	6.74%
Total I - Taxes	<u>289,311.57</u>	<u>342,153.13</u>	<u>3,186,072.00</u>	<u>(2,843,918.87)</u>	<u>10.74%</u>
II - State Shared					
4015-00 · Highway Users		0.00	120,156.00	(120,156.00)	0.0%
4025-00 · Police Protection	12,336.50	12,336.50	49,668.00	(37,331.50)	24.84%
4030-00 · Bank Stock		0.00	10,257.00	(10,257.00)	0.0%
Total II - State Shared	<u>12,336.50</u>	<u>12,336.50</u>	<u>180,081.00</u>	<u>(167,744.50)</u>	<u>6.85%</u>
III - County					
4055-00 · Landfill Rebate		0.00	6,256.00	(6,256.00)	0.0%
4071-00 · COVID19 County		0.00	161,000.00	(161,000.00)	0.0%
Total III - County	<u>0.00</u>	<u>0.00</u>	<u>167,256.00</u>	<u>(167,256.00)</u>	<u>0.0%</u>
IV - Licenses & Permits					
4075-00 · Cable TV Franchise Payments		0.00	38,800.00	(38,800.00)	0.0%
4076-00 · Cable TV - Capital Equipment		0.00	24,300.00	(24,300.00)	0.0%
4080-00 · Building Permits & Fees	20.00	424.59	1,500.00	(1,075.41)	28.31%
Total IV - Licenses & Permits	<u>20.00</u>	<u>424.59</u>	<u>64,600.00</u>	<u>(64,175.41)</u>	<u>0.66%</u>
V - Miscellaneous					
4085-00 · Accident Reports	10.00	40.00			
4095-00 · Rental License Fees	800.00	3,600.00	31,200.00	(27,600.00)	11.54%
4100-00 · Fines - Police		50.00	4,000.00	(3,950.00)	1.25%
4105-00 · Vehicle Release	25.00	75.00	2,000.00	(1,925.00)	3.75%
4120-00 · Interest Income		320.34	15,000.00	(14,679.66)	2.14%
4150-00 · Revenue -Miscellaneous		0.00	100.00	(100.00)	0.0%
4155-00 · Revenue - Recycling	324.20	393.00	2,000.00	(1,607.00)	19.65%
4160-00 · Sale of Asset		11,000.00			
4170-00 · Red Light Camera		2,700.00	18,720.00	(16,020.00)	14.42%
4244-00 · Sale of Energy Credits		1,089.65	500.00	589.65	217.93%
4248-00 · PEPCO - Solar Array Excess Gen.		0.00	1,000.00	(1,000.00)	0.0%
Total V - Miscellaneous	<u>1,159.20</u>	<u>19,267.99</u>	<u>74,520.00</u>	<u>(55,252.01)</u>	<u>25.86%</u>
VII - Prior Year's Surplus	<u>0.00</u>	<u>0.00</u>	<u>1,643,881.00</u>	<u>(1,643,881.00)</u>	<u>0.0%</u>
Total General Fund Revenues	<u>302,827.27</u>	<u>374,182.21</u>	<u>5,316,410.00</u>	<u>(4,942,227.79)</u>	<u>7.04%</u>
Total Income	<u>302,827.27</u>	<u>374,182.21</u>	<u>5,316,410.00</u>	<u>(4,942,227.79)</u>	<u>7.04%</u>
Gross Profit	<u>302,827.27</u>	<u>374,182.21</u>	<u>5,316,410.00</u>	<u>(4,942,227.79)</u>	<u>7.04%</u>

**Town of University Park
Treasurer's Report
September 2020**

Expense	September	Jul - Sep 20	Budget	\$ Over Budget	% of Budget
General Government					
I - Personnel - Gen Govt					
A Salaries - General Government					
6103-01 · Administration Expenses	6,303.98	17,964.74	75,000.00	(57,035.26)	23.95%
6104-01 · Mayor's Salary	1,538.46	4,307.68	20,000.00	(15,692.32)	21.54%
6105-01 · General Government - Reg	13,582.98	36,521.25	193,725.00	(157,203.75)	18.85%
6108-01 · General Government - Sick	127.54	127.54			
6109-01 · General Government - Vacation	950.68	4,449.88			
Total A Salaries - General Government	22,503.64	63,371.09	288,725.00	(225,353.91)	21.95%
B - Payroll Tax & Benefits - GG					
6600-01 · Life Insurance - Employee - GG	78.38	192.52			
6605-01 · Health Insurance - GG	462.43	708.13			
6610-01 · Payroll Taxes - GG	1,641.37	4,925.18	36,990.00	(32,064.82)	13.32%
6625-01 · Unemployment Insurance - GG	1.77	16.48			
6635-01 · Payroll Taxes - Mayor	117.68	353.07	3,590.00	(3,236.93)	9.84%
Total B - Payroll Tax & Benefits - GG	2,301.63	6,195.38	40,580.00	(34,384.62)	15.27%
Total I - Personnel - Gen Govt	24,805.27	69,566.47	329,305.00	(259,738.53)	21.13%
II -Operating - Gen. Government					
6000-01 · ADA (Interpreters)		0.00	250.00	(250.00)	0.0%
6005-01 · Accounting & Auditing	481.25	2,489.25	9,000.00	(6,510.75)	27.66%
6015-01 · Building Maintenance	1,308.90	3,325.90	15,000.00	(11,674.10)	22.17%
6020-01 · Building Utilities	1,930.13	1,972.01	7,000.00	(5,027.99)	28.17%
6027-01 · Council Retreat / Orientation		0.00	8,000.00	(8,000.00)	0.0%
6030-01 · Recording Secretary	75.00	275.00	5,000.00	(4,725.00)	5.5%
6050-01 · Elections		0.00	2,000.00	(2,000.00)	0.0%
6053-01 · Employee Awards and Events	12.85	376.45	3,000.00	(2,623.55)	12.55%
6055-01 · Engineering Serv. (Exc. Street)	283.39	283.39	2,000.00	(1,716.61)	14.17%
6064-01 · IT Costs	1,041.65	3,793.35	22,000.00	(18,206.65)	17.24%
6065-01 · Insurance		37,640.00	33,000.00	4,640.00	114.06%
6070-01 · Legal Advertisement		0.00	1,500.00	(1,500.00)	0.0%
6075-01 · Legal Fees	7,588.00	7,588.00	45,000.00	(37,412.00)	16.86%
6080-01 · Travel		0.00	26,500.00	(26,500.00)	0.0%
6085-01 · Memberships and Dues		5,109.30	7,000.00	(1,890.70)	72.99%
6090-01 · Newsletter	909.00	1,818.00	25,000.00	(23,182.00)	7.27%
6095-01 · Office Expenses	628.44	2,701.54	21,000.00	(18,298.46)	12.86%
6097-01 · Publications		0.00	8,000.00	(8,000.00)	0.0%
6110-01 · Small Equipment		0.00	3,000.00	(3,000.00)	0.0%
6115-01 · Telephone	818.86	1,490.11	10,000.00	(8,509.89)	14.9%
6128-01 · Training		60.00	1,500.00	(1,440.00)	4.0%
6130-01 · Website Maintenance & Design		5,843.25	8,800.00	(2,956.75)	66.4%
Total II -Operating - Gen. Government	15,077.47	74,765.55	263,550.00	(188,784.45)	28.37%

**Town of University Park
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	<u>September</u>	<u>Jul - Sep 20</u>	<u>Budget</u>	<u>\$ Over Budget</u>	<u>% of Budget</u>
III - Grants & Donations					
6063-01 · Fire Dept Donation		0.00	9,000.00	(9,000.00)	0.0%
6098-01 · Hyattsville Middle School PTA		0.00	6,000.00	(6,000.00)	0.0%
6099-01 · PTA Donation		0.00	6,000.00	(6,000.00)	0.0%
6152-01 · Senior Programs - Helping Hands	396.00	615.54	5,000.00	(4,384.46)	12.31%
6203-02 · UPCA Grant		0.00	8,000.00	(8,000.00)	0.0%
6250-02 · Azalea Classic		0.00	6,000.00	(6,000.00)	0.0%
Total III - Grants & Donations	396.00	615.54	40,000.00	(39,384.46)	1.54%
IV -Capital Outlay - Gen. Govt.					
6139-01 · Town Hall Bathroom Renovations		0.00	8,000.00	(8,000.00)	0.0%
Total IV -Capital Outlay - Gen. Govt.	0.00	0.00	8,000.00	(8,000.00)	0.0%
V - Transit					
6126-01 · Transit - Salaries		0.07	75,000.00	(74,999.93)	0.0%
6610-07 · Payroll Tax - Transit	341.99	1,034.24			
Total V - Transit	341.99	1,034.31	75,000.00	(73,965.69)	1.38%
VI -Covid Expense					
6800-08 · Audio and Video (ZOOM etc.)		139.96	600.00	(460.04)	23.33%
6805-08 · Cell Phones Police		0.00	1,756.00	(1,756.00)	0.0%
6810-08 · Cleaning Costs - Building	600.00	1,200.00	6,300.00	(5,100.00)	19.05%
6815-00 · Cleaning Supplies		0.00	1,200.00	(1,200.00)	0.0%
6820-08 · Disinfectant Costs	728.00	875.83	4,308.00	(3,432.17)	20.33%
6825-08 · Educational		295.58	175.00	120.58	168.9%
6830-08 · Elections By Mail		0.00	4,500.00	(4,500.00)	0.0%
6833-08 · Hazard Pay	9,840.25	28,642.01	87,725.00	(59,082.99)	32.65%
6834-08 · Laptops		0.00	6,750.00	(6,750.00)	0.0%
6835-08 · PPE Purchases		1,486.80	6,388.00	(4,901.20)	23.28%
6838-08 · Payroll Taxes		0.00	6,711.00	(6,711.00)	0.0%
6840-08 · Security		0.00	399.00	(399.00)	0.0%
6845-08 · Other/Contingency		0.00	34,188.00	(34,188.00)	0.0%
Total VI -Covid Expense	11,168.25	32,640.18	161,000.00	(128,359.82)	20.27%
Total General Government	51,788.98	178,622.05	876,855.00	(698,232.95)	20.37%

**Town of University Park
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	<u>September</u>	<u>Jul - Sep 20</u>	<u>Budget</u>	<u>\$ Over Budget</u>	<u>% of Budget</u>
Police & Public Safety					
I - Police & PS - Personnel					
A - Salaries - P & PS					
6344-03 · Police - Vacation	11,454.70	18,371.28			
6345-03 · Police - Regular	48,423.48	126,899.52	697,389.00	(570,489.48)	18.2%
6346-03 · Police - OT	2,073.20	5,929.36			
6348-03 · Police - Holiday	1,427.24	2,583.48			
6349-03 · Police - Sick Plan		9,445.52			
Total A - Salaries - P & PS	<u>63,378.62</u>	<u>163,229.16</u>	<u>697,389.00</u>	<u>(534,159.84)</u>	<u>23.41%</u>
B - Payroll Tax & Benefits - PS					
6600-03 · Life Insurance - Employee - PS	224.13	462.01			
6605-03 · Health Insurance - Police & PS	8,720.70	34,349.19			
6610-03 · Payroll Taxes - Police & PS	5,113.77	14,065.74	260,547.00	(246,481.26)	5.4%
6625-03 · Unemployment Insurance - PS	2.72	3.62			
6630-03 · State Retirement - PS		195.08			
Total B - Payroll Tax & Benefits - PS	<u>14,061.32</u>	<u>49,075.64</u>	<u>260,547.00</u>	<u>(211,471.36)</u>	<u>18.84%</u>
Total I - Police & PS - Personnel	<u>77,439.94</u>	<u>212,304.80</u>	<u>957,936.00</u>	<u>(745,631.20)</u>	<u>22.16%</u>
I.I - Code Compliance					
6380-03 · Code Compliance Salary	1,875.82	5,252.29	25,000.00	(19,747.71)	21.01%
6631-03 · Code Compliance- Payroll Tax	150.77	452.30			
6633-03 · Code Compliance Operating Costs	63.54	189.49	5,000.00	(4,810.51)	3.79%
Total I.I - Code Compliance	<u>2,090.13</u>	<u>5,894.08</u>	<u>30,000.00</u>	<u>(24,105.92)</u>	<u>19.65%</u>
II - Police & PS - Operating					
5303-03 · Citations - Red Light Camera	626.80	1,128.08	8,700.00	(7,571.92)	12.97%
6300-03 · Bike Patrol		133.69	500.00	(366.31)	26.74%
6303-03 · Body Worn Cameras		0.00	5,022.00	(5,022.00)	0.0%
6305-03 · Computer		0.00	2,000.00	(2,000.00)	0.0%
6307-03 · Crossing Guards	793.96	1,052.86	8,000.00	(6,947.14)	13.16%
6315-03 · Police Supplies & Manuals		797.63	6,440.00	(5,642.37)	12.39%
6320-03 · Gasoline	1,298.22	2,712.30	16,000.00	(13,287.70)	16.95%
6322-03 · GPS	133.00	361.00	2,500.00	(2,139.00)	14.44%
6323-03 · Home Security Reimb. Program		0.00	1,500.00	(1,500.00)	0.0%
6325-03 · Medical Exams		0.00	1,000.00	(1,000.00)	0.0%
6327-03 · MILES Computer		0.00	100.00	(100.00)	0.0%
6329-03 · Mobile Data Terminals	601.12	1,153.07	6,375.00	(5,221.93)	18.09%
6330-03 · Travel, Meetings, Prof. Dues		175.00	3,500.00	(3,325.00)	5.0%
6340-03 · Radio Maintenance		0.00	500.00	(500.00)	0.0%
6350-03 · Small Equipment - Police	290.00	4,942.00	9,400.00	(4,458.00)	52.57%
6351-03 · Uniforms					
6360-03 · Uniform Cleaning	100.00	252.75	8,300.00	(8,047.25)	3.05%
6365-03 · Uniform Purchase		(85.39)			
Total 6351-03 · Uniforms	<u>100.00</u>	<u>167.36</u>	<u>8,300.00</u>	<u>(8,132.64)</u>	<u>2.02%</u>
6355-03 · Training		0.00	5,000.00	(5,000.00)	0.0%
6370-03 · Vehicle Maintenance	386.50	3,352.56	6,500.00	(3,147.44)	51.58%
Total II - Police & PS - Operating	<u>4,229.60</u>	<u>15,975.55</u>	<u>91,337.00</u>	<u>(75,361.45)</u>	<u>17.49%</u>
III - Police & PS - Cap. Outlay					
6335-03 · Police Car	1,378.00	78,166.05	101,000.00	(22,833.95)	77.39%
Total III - Police & PS - Cap. Outlay	<u>1,378.00</u>	<u>78,166.05</u>	<u>101,000.00</u>	<u>(22,833.95)</u>	<u>77.39%</u>
Total Police & Public Safety	<u>85,137.67</u>	<u>312,340.48</u>	<u>1,180,273.00</u>	<u>(867,932.52)</u>	<u>26.46%</u>

**Town of University Park
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	<u>September</u>	<u>Jul - Sep 20</u>	<u>Budget</u>	<u>\$ Over Budget</u>	<u>% of Budget</u>
Public Works					
I - Personnel - PW					
A - Salaries - PW					
6545-05 · Mechanic	6,131.18	16,552.38			
6550-05 · Public Works	34,867.57	95,433.88	596,205.00	(500,771.12)	16.01%
6551-05 · Public Works - OT	563.50	760.98			
6554-05 · Public Works - Sick	1,943.79	6,983.83			
6555-05 · Public Works - Vacation	619.04	2,985.97			
Total A - Salaries - PW	<u>44,125.08</u>	<u>122,717.04</u>	<u>596,205.00</u>	<u>(473,487.96)</u>	<u>20.58%</u>
B - Payroll Tax & Benefits - PW					
6600-05 · Life Insurance - Employee -PW	237.88	503.26			
6605-05 · Health Insurance	12,107.48	57,496.11			
6610-05 · Payroll Taxes - PW	3,347.88	10,145.87	272,400.00	(262,254.13)	3.73%
Total B - Payroll Tax & Benefits - PW	<u>15,693.24</u>	<u>68,145.24</u>	<u>272,400.00</u>	<u>(204,254.76)</u>	<u>25.02%</u>
Total I - Personnel - PW	<u>59,818.32</u>	<u>190,862.28</u>	<u>868,605.00</u>	<u>(677,742.72)</u>	<u>21.97%</u>
II - Operating - Parks & Rec					
6202-02 · Cemetery Upkeep		0.00	100.00	(100.00)	0.0%
6210-02 · Tree Maintenance	3,745.00	4,720.00	20,000.00	(15,280.00)	23.6%
6215-02 · Tree Replacement		0.00	8,000.00	(8,000.00)	0.0%
6217-02 · Resident Tree Reimbursement	96.97	96.97	4,000.00	(3,903.03)	2.42%
6220-02 · Upkeep of Park	(192.59)	229.49	8,000.00	(7,770.51)	2.87%
6227-02 · Park Usage Concept Plan		0.00	100.00	(100.00)	0.0%
6230-02 · Playing Field Maintenance		0.00	10,000.00	(10,000.00)	0.0%
6235-02 · Park Landscape Maintenance		0.00	15,000.00	(15,000.00)	0.0%
Total II - Operating - Parks & Rec	<u>3,649.38</u>	<u>5,046.46</u>	<u>65,200.00</u>	<u>(60,153.54)</u>	<u>7.74%</u>
III - Operating - Streets					
6410-04 · Snow Removal		0.00	5,000.00	(5,000.00)	0.0%
6420-04 · Street Lights	2,025.10	4,009.44	29,000.00	(24,990.56)	13.83%
6425-04 · Street & Sidewalk Maintenance	350.00	1,771.76	46,000.00	(44,228.24)	3.85%
6435-04 · Street Trees - Replacement		0.00	10,000.00	(10,000.00)	0.0%
6440-04 · Street Tree - Maintenance	12,685.00	17,597.50	28,000.00	(10,402.50)	62.85%
Total III - Operating - Streets	<u>15,060.10</u>	<u>23,378.70</u>	<u>118,000.00</u>	<u>(94,621.30)</u>	<u>19.81%</u>
IV - Operating - Gen./Sanit					

**Town of University Park
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	<u>September</u>	<u>Jul - Sep 20</u>	<u>Budget</u>	<u>\$ Over Budget</u>	<u>% of Budget</u>
Uniforms					
6570-05 · Uniform Purchases		1,835.62	4,000.00	(2,164.38)	45.89%
Total Uniforms	0.00	1,835.62	4,000.00	(2,164.38)	45.89%
6500-05 · Fuel		1,845.37	20,000.00	(18,154.63)	9.23%
6501-05 · Composting		6,728.91	7,000.00	(271.09)	96.13%
6505-05 · Landfill	3,516.40	7,159.06	64,000.00	(56,840.94)	11.19%
6510-05 · Landfill - Compost (MD Environ)		876.50			
6515-05 · Medical Exams		0.00	500.00	(500.00)	0.0%
6535-05 · Recycling Costs	1,749.60	1,749.60	12,000.00	(10,250.40)	14.58%
6546-05 · Travel & Dues	228.00	486.00	5,000.00	(4,514.00)	9.72%
6547-05 · Training		0.00	2,500.00	(2,500.00)	0.0%
6560-05 · Tools & Supplies	587.32	4,011.95	8,000.00	(3,988.05)	50.15%
6580-05 · Vehicle Maintenance	4,356.58	6,678.92	25,000.00	(18,321.08)	26.72%
6585-05 · Work & Storage Space	4,260.86	15,730.67	44,000.00	(28,269.33)	35.75%
Total IV - Operating - Gen./Sanit	14,698.76	47,102.60	192,000.00	(144,897.40)	24.53%
V - Capital Outlay - PW					
6506-05 · Veteran's Memorial		0.00	1,000.00	(1,000.00)	0.0%
6509-05 · Park Bridge Repairs Beechwood		0.00	30,000.00	(30,000.00)	0.0%
6520-05 · LED Street Light Conversion		0.00	100.00	(100.00)	0.0%
Total V - Capital Outlay - PW	0.00	0.00	31,100.00	(31,100.00)	0.0%
Total Public Works	93,226.56	266,390.04	1,274,905.00	(1,008,514.96)	20.9%
Reserves & Debt Service					
I. Unreserved - Designated					
6600-08 · Vehicle Replacement		0.00	26,000.00	(26,000.00)	0.0%
6610-08 · Tree Replacement		0.00	40,000.00	(40,000.00)	0.0%
6615-08 · Police Officer		0.00	68,000.00	(68,000.00)	0.0%
Total I. Unreserved - Designated	0.00	0.00	134,000.00	(134,000.00)	0.0%
II. Reserved - Designated					
6630-08 · Cemetery		0.00	4,204.00	(4,204.00)	0.0%
6640-08 · Cable Capital Equipment		0.00	197,450.00	(197,450.00)	0.0%
Total II. Reserved - Designated	0.00	0.00	201,654.00	(201,654.00)	0.0%
III. Debt Service					
6044-01 · Debt Service Infrast. Bond		103,120.92	206,242.00	(103,121.08)	50.0%
6051-01 · St. Imp. & Traffic Cont. 2019	28,919.89	28,919.89	136,340.00	(107,420.11)	21.21%
6054-01 · Leaf/Utility Truck Lease Pymt.		27,343.81	27,350.00	(6.19)	99.98%
Total III. Debt Service	28,919.89	159,384.62	369,932.00	(210,547.38)	43.09%
IV. Unreserved Funds	0.00	0.00	1,278,791.00	(1,278,791.00)	0.0%
Total Reserves & Debt Service	28,919.89	159,384.62	1,984,377.00	(1,824,992.38)	8.03%
Total Expense	259,073.10	916,737.19	5,316,410.00	(4,399,672.81)	17.24%
Net Ordinary Income	43,754.17	(542,554.98)	0.00	(542,554.98)	100.0%

**Town of University Park
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	<u>September</u>	<u>Jul - Sep 20</u>	<u>Budget</u>	<u>\$ Over Budget</u>	<u>% of Budget</u>
Other Income/Expense					
Other Income					
7000-00 · Capital Projects					
7010-00 · Revenue and Funding Sources					
7020-00 · Grants and Other Funding Source					
4125-00 · Intrest Income - 2019 Bond	3,063.40	3,063.40			
7022-00 · Maryland Bond Bill - Town Hall		0.00	200,000.00	(200,000.00)	0.0%
7024-00 · WSSC/WGL Street Repair Rebate		0.00	516,000.00	(516,000.00)	0.0%
7026-00 · Safe Routes to School Grant		0.00	200,000.00	(200,000.00)	0.0%
7028-00 · MHAA Grant		0.00	40,750.00	(40,750.00)	0.0%
Total 7020-00 · Grants and Other Funding Source	<u>3,063.40</u>	<u>3,063.40</u>	<u>956,750.00</u>	<u>(953,686.60)</u>	<u>0.32%</u>
7040-00 · Committed Fund Balance					
7042-00 · Bond Proceeds - FY2020		0.00	1,600,000.00	(1,600,000.00)	0.0%
7044-00 · Road Reserves		0.00	107,500.00	(107,500.00)	0.0%
7046-00 · MD Bond Bill - Town Match		0.00	40,000.00	(40,000.00)	0.0%
7048-00 · MHAA Grant Match		0.00	40,750.00	(40,750.00)	0.0%
7050-00 · Repairs to Park Path		0.00	83,606.00	(83,606.00)	0.0%
Total 7040-00 · Committed Fund Balance	<u>0.00</u>	<u>0.00</u>	<u>1,871,856.00</u>	<u>(1,871,856.00)</u>	<u>0.0%</u>
Total 7010-00 · Revenue and Funding Sources	<u>3,063.40</u>	<u>3,063.40</u>	<u>2,828,606.00</u>	<u>(2,825,542.60)</u>	<u>0.11%</u>
Total 7000-00 · Capital Projects	<u>3,063.40</u>	<u>3,063.40</u>	<u>2,828,606.00</u>	<u>(2,825,542.60)</u>	<u>0.11%</u>
Total Other Income	<u>3,063.40</u>	<u>3,063.40</u>	<u>2,828,606.00</u>	<u>(2,825,542.60)</u>	<u>0.11%</u>
Other Expense					
7100-00 · Capital Projects Expenditures					
7110-00 · Street Project - FY2021					
7111-00 · Construction - NZI		(5,895.00)			
7112-00 · Design/Inspection/PM	10,990.00	16,397.50			
7110-00 · Street Project - FY2021 - Other		0.00	2,507,106.00	(2,507,106.00)	0.0%
Total 7110-00 · Street Project - FY2021	<u>10,990.00</u>	<u>10,502.50</u>	<u>2,507,106.00</u>	<u>(2,496,603.50)</u>	<u>0.42%</u>
7120-00 · Town Hall Design and Const.		0.00	240,000.00	(240,000.00)	0.0%
7130-00 · MHAA Trail Project	750.00	19,339.58	81,500.00	(62,160.42)	23.73%
Total 7100-00 · Capital Projects Expenditures	<u>11,740.00</u>	<u>29,842.08</u>	<u>2,828,606.00</u>	<u>(2,798,763.92)</u>	<u>1.06%</u>
Total Other Expense	<u>11,740.00</u>	<u>29,842.08</u>	<u>2,828,606.00</u>	<u>(2,798,763.92)</u>	<u>1.06%</u>
Net Other Income	<u>(8,676.60)</u>	<u>(26,778.68)</u>	<u>0.00</u>	<u>(26,778.68)</u>	<u>100.0%</u>
Net Income	<u><u>35,077.57</u></u>	<u><u>(569,333.66)</u></u>	<u><u>0.00</u></u>	<u><u>(569,333.66)</u></u>	<u><u>100.0%</u></u>